



City of East Grand Rapids
Regular City Commission Meeting
Agenda

September 6, 2016 – 6:00 p.m.
(EGR Community Center – 750 Lakeside Drive)

1. Call to Order and Pledge of Allegiance.
2. Public Comment by persons in attendance.
3. Report of Mayor and City Commissioners.

Regular Agenda Items

4. ~~Zoning variance hearing on the request of Stacy & Karl Roberts of 1118 Pinecrest to allow the replacement of the existing detached garage with side yard setback of 1.1' instead of the required 3.0' and a building separation of 7.3' from the home instead of the required 10.0'. **POSTPONED UNTIL SEPTEMBER 19, 2016.**~~
5. ~~Zoning variance hearing on the request of Joshua Hall of 653 Gladstone to allow the construction of a detached garage with a side yard setback of 1' instead of the required 3.0' and a rear yard setback of 2' instead of the required 3' (action requested – notices sent). **POSTPONED UNTIL SEPTEMBER 19, 2016.**~~
6. ~~Zoning variance hearing on the request of David Emdin of 655 Gladstone to allow the construction of a detached garage with a side yard setback of 1' instead of the required 3.0' and a rear yard setback of 2' instead of the required 3' (action requested – notices sent). **POSTPONED UNTIL SEPTEMBER 19, 2016.**~~
7. Site plan review for Coiffeteria Salon at 610 Lovett (action requested).
8. Introduction of an ordinance amendment to repeal Section 10.7 of Chapter 101 of Title X of the City Code pertaining to the Traffic Commission (action requested – approval requested).

Consent Agenda – Approval Requested

9. Receipt of communications.
10. Minutes of the regular meeting held August 15, 2016 (approval requested).
11. Report of Finance Committee on disbursement of funds: payroll disbursements of \$458,938.63; county and school disbursements of \$13,265,653.86, and total remaining disbursements of \$2,638,340.07 (approval requested).
12. Creation of a butterfly garden at Schroeder property at 2618 Reeds Lake Blvd (approval requested).
13. Quarterly financial reports for the period ended June 30, 2016 (no action requested).
14. Preliminary minutes of the Planning Commission meeting held August 9, 2016 (no action requested).

* * *



CITY OF EAST GRAND RAPIDS

750 LAKESIDE DRIVE SE • EAST GRAND RAPIDS, MICHIGAN 49506

BRIAN DONOVAN
CITY MANAGER

MEMORANDUM

TO: Mayor and City Commissioners
FROM: Brian Donovan, City Manager
DATE: August 30, 2016

RE: Continued Variances

You will notice there are three variance requests on the September 5, 2016 City Commission agenda (agenda items #4 - 6) that have been postponed. While notices were mailed to residents with the September 6th meeting date, the newspaper ad did not appear in the Cadence in time to meet state law.

All three variances are now moved to the September 19, 2016 City Commission meeting. A new notice has been sent to residents and the newspaper ad sets the hearing for September 19th.

During the September 6th City Commission meeting, each variance will be introduced by Tom Faasse and the public hearing opened. After accepting any public comment, the Mayor will continue the public hearing and variance request at the September 19, 2016 City Commission meeting.

BD/kb/9175



CITY OF
EAST GRAND RAPIDS

750 LAKESIDE DRIVE SE • EAST GRAND RAPIDS, MICHIGAN 49506

THOMAS A. FAASSE
ZONING ADMINISTRATOR

Memorandum

TO: Mayor and City Commissioners - Board of Zoning Appeals
FROM: Tom Faasse, Zoning Administrator
DATE: August 23, 2016
RE: Request for Variances – 1118 Pinecrest Avenue, SE detached garage

ACTION REQUESTED: That the Commission conducts a public hearing and votes on the application of the owners of 1118 Pinecrest Avenue, SE, for two zoning variances for relief from the East Grand Rapids Zoning Ordinance, according to the plans presented, as follows:

- **Section 5.70A7, for a side (north) garage setback of 1.1 feet instead of 3.0 feet, a variance of 1.9 feet.**
- **from Section 5.70A6, for a separation distance of 7.3 feet from the house instead of 10 feet, a variance of 2.7 feet**

BACKGROUND: Stacy and Karl Roberts, the owners of 1118 Pinecrest Avenue, SE, are represented by Sears Architects. They wish to reconstruct their detached garage, which has structural issues, with a garage of the same footprint and in virtually the same location as the existing nonconforming garage. (Please refer to the attached site plan drawing which is based on survey information.) Instead of the required setbacks of 3 feet from lot lines, the narrowest setbacks of the current garage are 2.6 feet on the rear and 1.1 feet on the side. (It is not quite parallel to the lot lines.) Also, instead of the required 10 foot building separation, the garage is 7.3 feet from the house based on a variance granted in 2004 for a rear home addition. If they shift the new foundation slightly to make it parallel to the rear lot line, the rear of the garage can be made conforming, with a 3-foot setback, and the building separation will accordingly be improved by the same few inches. However, in order to maintain the alignment of the door to the driveway, they do request relief from Section 5.70A7 of the zoning ordinance for a side setback of 1.1 feet instead of 3 feet, a variance of 1.9 feet. They also request relief from Section 5.70A6 for a separation distance of 7.3 feet from the house instead of 10 feet, a variance of 2.7 feet as was previously granted.

Although the 19.3 feet width is rather narrow for a two stall garage, they are not requesting an increase in width. The applicant says that if they were to shift the garage southward in order to achieve a 3-foot side setback and comply with the zoning ordinance, it would create new difficulties for vehicle ingress and egress to the right-hand stall. It would also increase the overlap of the house and garage in the building separation area.

Lot coverage by buildings (28.7%) and overall impervious surface lot coverage (46.8%) would be unchanged with this proposal. In all other aspects, the design of this proposed garage complies with the Zoning Ordinance.

Brian Donovan, City Manager

Request for Zoning Ordinance Variance

Date: 7/28/16

Note to Applicant: Please pay careful attention to answer the questions in this application as accurately and completely as possible. This will give you the best possibility of your application appearing on the earliest agenda for action and for approval by the Board of Zoning Appeals.

All requests for a zoning variance are subject to a public hearing. The applicant will be advised of the hearing date, time and location and is requested to present a verbal summary of the request to the Board of Zoning Appeals prior to the public hearing. In addition, the City Services Office shall publish notice of the public hearing in a newspaper of general circulation in the local unit of government, as well as, provide notice of the public hearing to all property owners within a 300 foot radius of the subject property not less than fifteen (15) days before the date the application will be considered for approval.

A non-refundable filing fee of \$250.00 must accompany your application.

Applicant Name: ROBERT SEARS / SEARS ARCHITECTS

Address: 16 LONIA AVE. SW, SUITE ONE, GRAND RAPIDS 49503

Property Address (if different than above):

1118 PINECREST AVE. SE, EAST GRAND RAPIDS 49506

Daytime Phone: 616.336.8495

Legal Description of Property**: SEE ATTACHMENT

SURVEY INFORMATION BY NEPERVELD INC. DATED 6/15/2016

**(Use Attachments if Necessary)

Permanent Parcel (Tax) Number: 41-14-33-479-002

Briefly State the Requested Variance (Citing the specific section(s) of the Zoning Ordinance from which you are seeking a variance):**

SEE ATTACHED NARRATIVE

**(Use Attachments if Necessary)

Please check all the items below which are applicable to your request for variance:

- a. The situation which causes you to seek a variance does not result from any action of yours.
- b. A grant of the variance would do substantial justice to you as well as to other property owners and will not be of substantial detriment to neighboring properties.

c. The request for variance is based upon conditions and circumstances described on the attached sheet which are unique to your property and not generally applicable to others in your neighborhood.

d. Compliance with the Zoning Ordinance would unreasonably prevent you from using the property or would be unnecessarily burdensome.

Narrative Statement:

Please attach a narrative statement setting forth:

- a. What you wish to do with the property.
- b. Why you need the variance.
- c. The specific decision you seek
- d. The reason your project cannot be accomplished within the requirements of the zoning ordinance.

Site Plan:

Two (2) copies of a detailed, *scaled* site plan and elevation drawing showing the nature of the variance request, including, but not limited to: property boundaries, existing and proposed structures, the distance from the property lines of each existing building or structure and of each proposed building or structure, height of all proposed structures, and show and label abutting street(s). *Additional information may be required by the Zoning Administrator.*

The Board of Zoning Appeals may attach conditions to the granting of a variance.

Please be advised that substantial steps toward effecting the variance must be taken within twelve (12) months of approval of a variance, or the variance will become null and void per section 5.171-2 of the City Code.

[Signature]
Signature of Applicant

ROB SEARS / SEARS ARCHITECTS
Print Name

Stacy Roberts
Signature of Property Owner
(If Different from Applicant)

Stacy Roberts
Print Name



City of East Grand Rapids
City Services
750 Lakeside Dr. SE, East Grand Rapids, MI 49506
Phone 616.940.4817 FAX 616.831-6121

PROPOSED ROBERTS RESIDENCE GARAGE @ 1118 PINECREST AVENUE SE

NARRATIVE STATEMENT**a. What you wish to do with the property.**

The owners of 1118 Pinecrest Avenue would like to replace the existing garage with an updated two stall garage to replace the existing garage. The existing garage needs to be demolished and re-built with a new concrete slab and foundations due to structural issues.

b. Why you need the variance.

The variance is necessary to replace the existing two stall garage on the property. The location of the existing garage (which needs to be re-built) does not comply with current zoning. The existing garage is too close to the rear and side lot line. The rear yard is 2.6 feet and the side yard is 1.1 feet, the required setback is 3 feet. The garage is too close to the house, the current separation distance is 7.3 feet. The required building separation is 10 feet, a variance was granted for this in the past.

c. The specific decision you seek.

Relief from Section 5.70A6 and 5.70A7 of the zoning ordinance.

-Section 5.70A6 requires 10 feet between the detached accessory structure and the principal building on the lot. The current separation distance is 7.3 feet. The proposed garage will be a few inches further from the house after being rotated, the request is to uphold the current 2.7 feet variance.

-Section 5.70A7 requires the setback distance to be three feet from the side and rear lot lines. The current garage is 2.6 feet from the rear lot line and 1.1 feet from the side lot line. The location of the proposed garage will be slightly rotated to achieve the 3 feet minimum rear yard setback and parallel to the rear face of the house. The variance request is to seek relief from the side yard setback, a 1.9 feet variance. The roof overhang has also been reduced due to the proximity to the lot line.

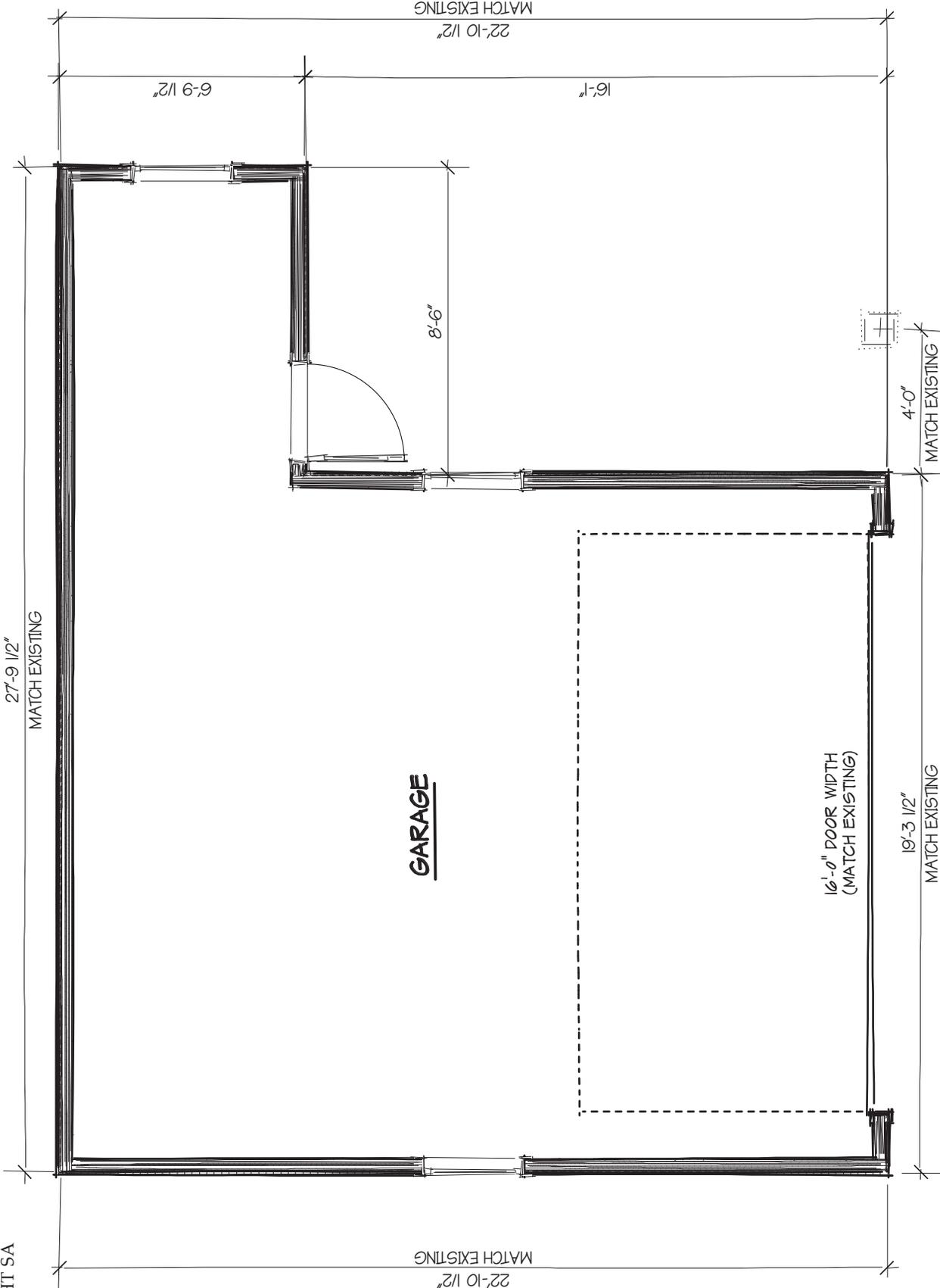
d. The reason your project cannot be accomplished within the requirements of the zoning ordinance.

Sections 5.70A6 and 5.70A7 of the zoning ordinance prevent the replacement of a two stall garage on the property.

The current garage on the property, which is smaller than most two stall garages, was built by a previous owner and has existed with the above zoning violations for decades. The current garage cannot be maintained due to structural issues. The proposed garage will be rotated to comply with the 3 feet rear yard set back requirement and maintain the current sideyard setback along with an identical footprint as the current garage. The proposed garage will have a slightly higher roof as allowed by the current zoning ordinance section 5.70A5.

COPYRIGHT SA

27'-9 1/2"
MATCH EXISTING



22'-10 1/2"
MATCH EXISTING

6'-9 1/2"

8'-6"

16'-1"

22'-10 1/2"
MATCH EXISTING

19'-3 1/2"
MATCH EXISTING

16'-0" DOOR WIDTH
(MATCH EXISTING)

4'-0"
MATCH EXISTING

GARAGE

ROBERTS RESIDENCE GARAGE

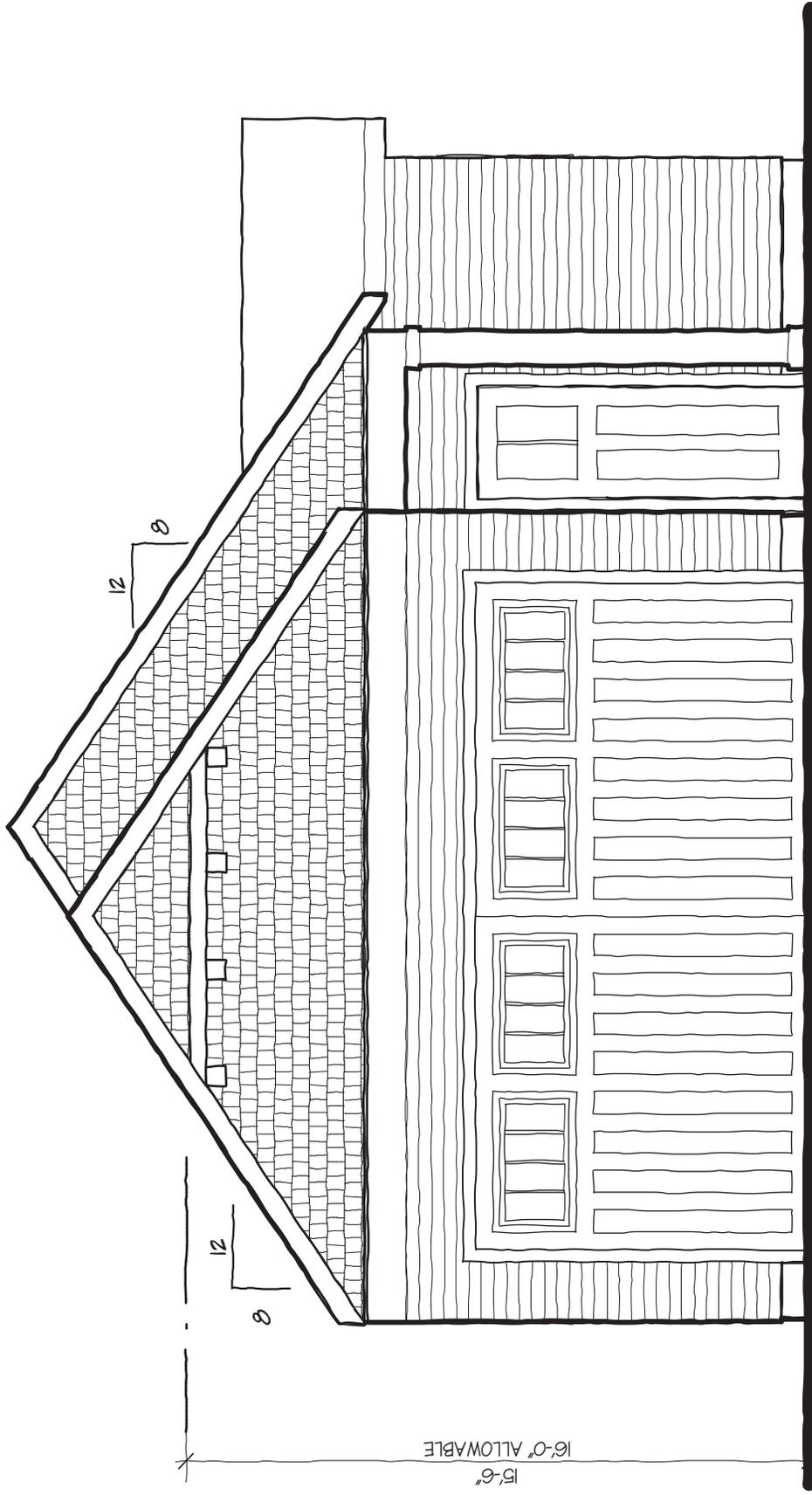
1118 PINECREST AVENUE
EAST GRAND RAPIDS

GARAGE PLAN

VARIANCE APPLICATION - DRAWING 2 OF 4

Scale: 1/4" = 1'-0"

SEARS ARCHITECTS
GRAND RAPIDS, MICHIGAN
616.336.8495 www.searsarchitects.com
7.28.16
2016-121



16'-0" ALLOWABLE

15'-6"

12

8

12

8

ROBERTS RESIDENCE GARAGE
FRONT ELEVATION

1118 PINECREST AVENUE
EAST GRAND RAPIDS

VARIANCE APPLICATION - DRAWING 3 OF 4

Scale: 1/4" = 1'-0"

SEARS ARCHITECTS
GRAND RAPIDS, MICHIGAN
616.336.8495 www.searsarchitects.com
7.28.16
2016-121



ROBERTS RESIDENCE GARAGE

1118 PINECREST AVENUE
EAST GRAND RAPIDS

SITE PHOTOS

VARIANCE APPLICATION - DRAWING 4 OF 4

Scale: 1" = 30 ft

SEARS ARCHITECTS
GRAND RAPIDS, MICHIGAN
616.336.8495 www.searsarchitects.com
7.28.16
2016-121



City of East Grand Rapids, Michigan

CITY OF EAST GRAND RAPIDS NOTICE OF PUBLIC HEARING

A public hearing will be held at the request of Sears Architects representing Stacy and Karl Roberts, the owners of 1118 Pinecrest Avenue, SE, to consider two related zoning variances at that address. Due to structural issues, they wish to reconstruct their existing nonconforming detached garage and foundation with a garage of the same footprint and in the same location. The narrowest setbacks of the current garage are 2.6 feet on the rear and 1.1 feet on the side, instead of the required setbacks of 3 feet from lot lines. The garage is 7.3 feet from the house instead of the required 10 foot separation based on a variance granted in 2004 for a rear home addition. By making the new garage foundation parallel to the rear lot line, the rear setback can be made conforming. However, they request relief from Section 5.70A7 of the East Grand Rapids Zoning Ordinance for a side setback of 1.1 feet instead of 3 feet, a variance of 1.9 feet. They also request relief from Section 5.70A6 to maintain the separation distance of 7.3 feet from the house instead of 10 feet, a variance of 2.7 feet, as was previously granted.

The application and plans may be viewed in the Public Works Administration office at the Community Center, or by linking from this notice at www.eastgr.org/notices.

The City Commission welcomes your views in this matter. You may express your views at the scheduled meeting or by writing to the Mayor and City Commission at 750 Lakeside Drive, SE, East Grand Rapids, Michigan 49506 or by email to the City Clerk at kbrower@eastgr.org. To be included in the hearing, written communications must contain the sender's name and address.

If you have any questions regarding this request, please contact the undersigned at 940-4817, or tfaasse@eastgr.org.

DATE: Tuesday, September 6, 2016 (note day of the week)
TIME: 6:00 p.m.
PLACE: East Grand Rapids Community Center,
Commission Chambers
750 Lakeside Drive, SE,
East Grand Rapids, Michigan 49506

Thomas A. Faasse
Zoning Administrator

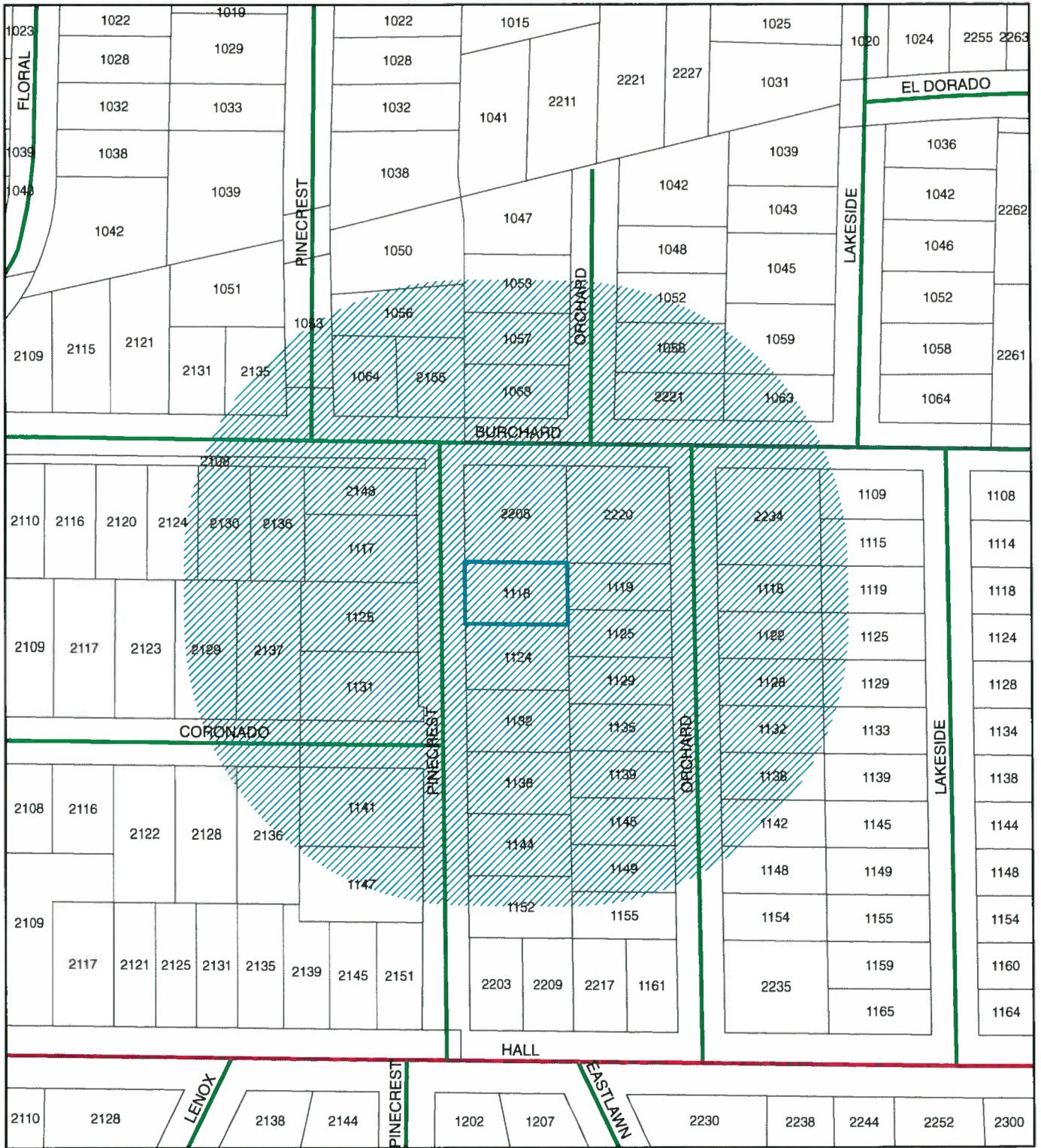
*61 notices
mailed
tfa*

PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION

750 Lakeside Drive, SE • East Grand Rapids, Michigan 49506
Telephone (616) 940-4817 Fax (616) 831-6121 www.eastgr.org

Partners with





Variance
 1118 Pinecrest Avenue, S. E.
 EastGrand Rapids, MI





CITY OF EAST GRAND RAPIDS

750 LAKESIDE DRIVE SE • EAST GRAND RAPIDS, MICHIGAN 49506

THOMAS A. FAASSE
ZONING ADMINISTRATOR

Memorandum

TO: Mayor and City Commissioners, Board of Zoning Appeals
FROM: Tom Faasse, Zoning Administrator
DATE: August 23, 2016
RE: **Request for Variances – 653 and 655 Gladstone Avenue, SE detached garages
Zoned R-3 Single Family Residential**

ACTION REQUESTED: That the Commission conducts a combined public hearing and votes (separately) on the applications of the owners of 653 and 655 Gladstone Avenue, SE, for two zoning variances at each address for relief from the East Grand Rapids Zoning Ordinance, according to the plans presented, as follows:

- **Section 5.70A7, for a side garage setback of 1.0 foot instead of 3.0 feet, a variance of 2.0 feet.**
- **Section 5.70A7, for a rear garage setback of 2.0 feet instead of 3.0 feet, a variance of 1.0 foot.**

BACKGROUND: Joshua Hall, the owner of 653 Gladstone Avenue, SE, and David Emdin, the owner of 655 Gladstone Avenue, SE, are represented by builder Charles Sommer. These properties share an existing garage which straddles the common lot line between these small nonconforming lots in the St. Stephens neighborhood. Due to age and poor condition, the shared garage will be demolished along with its foundation. It lacks depth (18.6 feet exterior) and it sits about 8 feet from the rear lot line, yet it is too close to the houses to allow extra parking or easy maneuvering. (Please refer to the attached site plan drawings.) The rear lot line is the city boundary, beyond which lies Clark Retirement Community in the City of Grand Rapids. At the rear property line there is a low retaining wall, a privacy fence and shrubbery. The Gladstone properties sit higher than the Clark property by a couple of feet. In order to avoid the negative aspects of having a property with a shared zero-lot-line garage, each property owner wishes to construct his own detached garage – a 12-by-22 one stall at 653 Gladstone and an 18-by-22 two stall at 655 Gladstone, both closer to the rear lot line and the common side lot line than the 3 foot setbacks that are required. They have contracted with the same builder for the entire process. The new garages would be deeper (22 feet) and set further back. The request for narrower side setbacks is based on the desire to line up the doors as closely as possible with the shared driveway. Therefore, each property owner is requesting relief from Section 5.70A7 of the zoning ordinance for a side setback of 1.0 foot instead of 3 feet, a variance of 2.0 feet. They also request relief from Section 5.70A7 for a rear setback of 2.0 feet instead of 3 feet, a variance of 1.0 foot.

In all other aspects, including lot coverage, the design of these proposed garages complies with the Zoning Ordinance.

Brian Donovan, City Manager



Request for Zoning Ordinance Variance

Date: July 29, 2016

Note to Applicant: Please pay careful attention to answer the questions in this application as accurately and completely as possible. This will give you the best possibility of your application appearing on the earliest agenda for action and for approval by the Board of Zoning Appeals.

All requests for a zoning variance are subject to a public hearing. The applicant will be advised of the hearing date, time and location and is requested to present a verbal summary of the request to the Board of Zoning Appeals prior to the public hearing. In addition, the City Services Office shall publish notice of the public hearing in a newspaper of general circulation in the local unit of government, as well as, provide notice of the public hearing to all property owners within a 300 foot radius of the subject property not less than fifteen (15) days before the date the application will be considered for approval.

A non-refundable filing fee of \$250.00 must accompany your application.

Applicant Name: CHARLES SOMMER

Address: 13625 NORTHLAND DR, CEDAR SPRINGS

Property Address (if different than above):

653 GLADSTONE

Daytime Phone: 616-299-2421

Legal Description of Property**: South 20 feet of Lot 22 and North 20 feet of Lot 23 Plat of Sherman Park Section 33, Town 7 North, Range 11 West City of East GRAND RAPIDS Kent County, Michigan
**(Use Attachments if Necessary)

Permanent Parcel (Tax) Number: 41-14-33-151-013 ✓

Briefly State the Requested Variance (Citing the specific section(s) of the Zoning Ordinance from which you are seeking a variance):**

SECTION 5.70 A7 - REQUESTING A VARIANCE OF 2' ON SIDE AND 1' REAR

** (Use Attachments if Necessary)

Please check all the items below which are applicable to your request for variance:

a. The situation which causes you to seek a variance does not result from any action of yours.

b. A grant of the variance would do substantial justice to you as well as to other property owners and will not be of substantial detriment to neighboring properties.

(over)

c. The request for variance is based upon conditions and circumstances described on the attached sheet which are unique to your property and not generally applicable to others in your neighborhood.

d. Compliance with the Zoning Ordinance would unreasonably prevent you from using the property or would be unnecessarily burdensome.

Narrative Statement:

Please attach a narrative statement setting forth:

- a. What you wish to do with the property.
- b. Why you need the variance.
- c. The specific decision you seek
- d. The reason your project cannot be accomplished within the requirements of the zoning ordinance.

Site Plan:

Two (2) copies of a detailed, *scaled* site plan and elevation drawing showing the nature of the variance request, including, but not limited to: property boundaries, existing and proposed structures, the distance from the property lines of each existing building or structure and of each proposed building or structure, height of all proposed structures, and show and label abutting street(s). *Additional information may be required by the Zoning Administrator.*

The Board of Zoning Appeals may attach conditions to the granting of a variance.

Please be advised that substantial steps toward effecting the variance must be taken within twelve (12) months of approval of a variance, or the variance will become null and void per section 5.171-2 of the City Code.



Signature of Applicant

CHARLES SOMMER
Print Name



Signature of Property Owner
(If Different from Applicant)

JOSHUA HALL
Print Name



City of East Grand Rapids
City Services
750 Lakeside Dr. SE, East Grand Rapids, MI 49506
Phone 616.940.4817 FAX 616.831-6121



Request for Zoning Ordinance Variance

Date: JULY, 29 2016

Note to Applicant: Please pay careful attention to answer the questions in this application as accurately and completely as possible. This will give you the best possibility of your application appearing on the earliest agenda for action and for approval by the Board of Zoning Appeals.

All requests for a zoning variance are subject to a public hearing. The applicant will be advised of the hearing date, time and location and is requested to present a verbal summary of the request to the Board of Zoning Appeals prior to the public hearing. In addition, the City Services Office shall publish notice of the public hearing in a newspaper of general circulation in the local unit of government, as well as, provide notice of the public hearing to all property owners within a 300 foot radius of the subject property not less than fifteen (15) days before the date the application will be considered for approval.

A non-refundable filing fee of \$250.00 must accompany your application.

Applicant Name: CHARLES SOMMER

Address: 13625 NORTHLAND DR CEDAR SPRINGS 49319

Property Address (if different than above):

655 GLADSTONE AVE

Daytime Phone: 616-299-2421

Legal Description of Property**: Lot 24 also South 5 feet of Lot 23 also North 1/2 of Lot 25, Plat of Sherman Park, City of East Grand Rapids, Kent County, MICHIGAN

** (Use Attachments if Necessary)

Permanent Parcel (Tax) Number: 41-14-33-151-014

Briefly State the Requested Variance (Citing the specific section(s) of the Zoning Ordinance from which you are seeking a variance):**

Section 5.70 A7 REQUESTING A VARIANCE OF 2' ON THE SIDE AND 1' IN BACK OR REAR

** (Use Attachments if Necessary)

Please check all the items below which are applicable to your request for variance:

- a. The situation which causes you to seek a variance does not result from any action of yours.
- b. A grant of the variance would do substantial justice to you as well as to other property owners and will not be of substantial detriment to neighboring properties.

c. The request for variance is based upon conditions and circumstances described on the attached sheet which are unique to your property and not generally applicable to others in your neighborhood.

d. Compliance with the Zoning Ordinance would unreasonably prevent you from using the property or would be unnecessarily burdensome.

Narrative Statement:

Please attach a narrative statement setting forth:

- a. What you wish to do with the property.
- b. Why you need the variance.
- c. The specific decision you seek
- d. The reason your project cannot be accomplished within the requirements of the zoning ordinance.

Site Plan:

Two (2) copies of a detailed, *scaled* site plan and elevation drawing showing the nature of the variance request, including, but not limited to: property boundaries, existing and proposed structures, the distance from the property lines of each existing building or structure and of each proposed building or structure, height of all proposed structures, and show and label abutting street(s). *Additional information may be required by the Zoning Administrator.*

The Board of Zoning Appeals may attach conditions to the granting of a variance.

Please be advised that substantial steps toward effecting the variance must be taken within twelve (12) months of approval of a variance, or the variance will become null and void per section 5.171-2 of the City Code.



Signature of Applicant

CHARLES SOMMIER

Print Name



Signature of Property Owner
(If Different from Applicant)

David Emdin

Print Name



City of East Grand Rapids
City Services
750 Lakeside Dr. SE, East Grand Rapids, MI 49506
Phone 616.940.4817 FAX 616.831-6121



**Charles Sommer
Construction Inc.**

13625 Northland Drive • Cedar Springs, MI 49319
(616) 696-0828

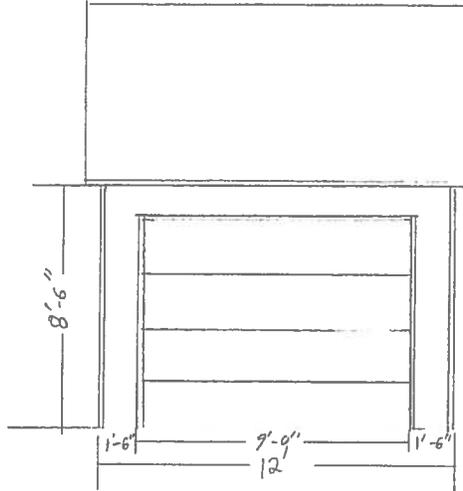
July 2016

Variance request for
655 & 653 Gladstone

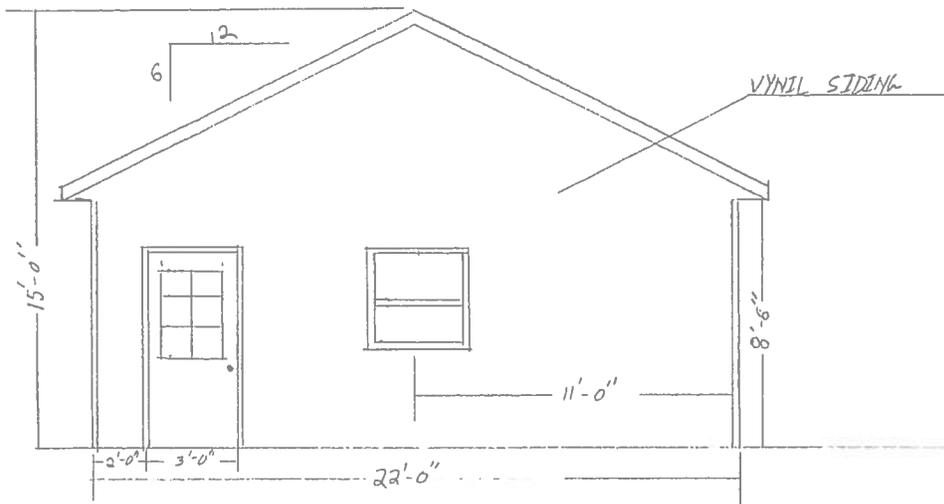
It is our desire to remove the existing shared garage that, due to its condition, location and design, is impractical for parking. The shared driveway, and the closeness of the garage to the house does not allow for parking in front of the garage. It is our desire to build two garages that are of usable size and to locate them back farther on the property to allow some parking in front of each garage. The size of these lots does not allow a garage to be built without the granting of a variance. We are requesting to construct the new garages 1 foot from the side lot line and 2 feet from the rear lot line. We believe that this would remove vehicles from on street parking, is consistent with the neighborhood and would in no way be a detriment to the surrounding properties.

Lot coverage	Existing	Proposed	Rear Yard
653 Gladstone	44.32%	46.98%	14.25%
655 Gladstone	46.00%	46.67%	18.90%

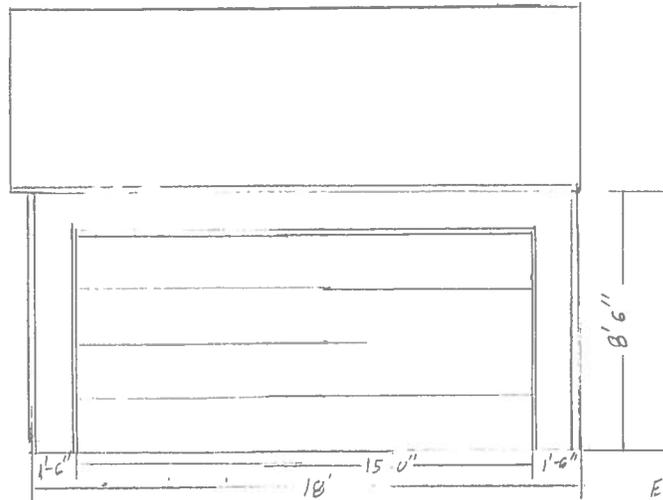
Charles Sommer



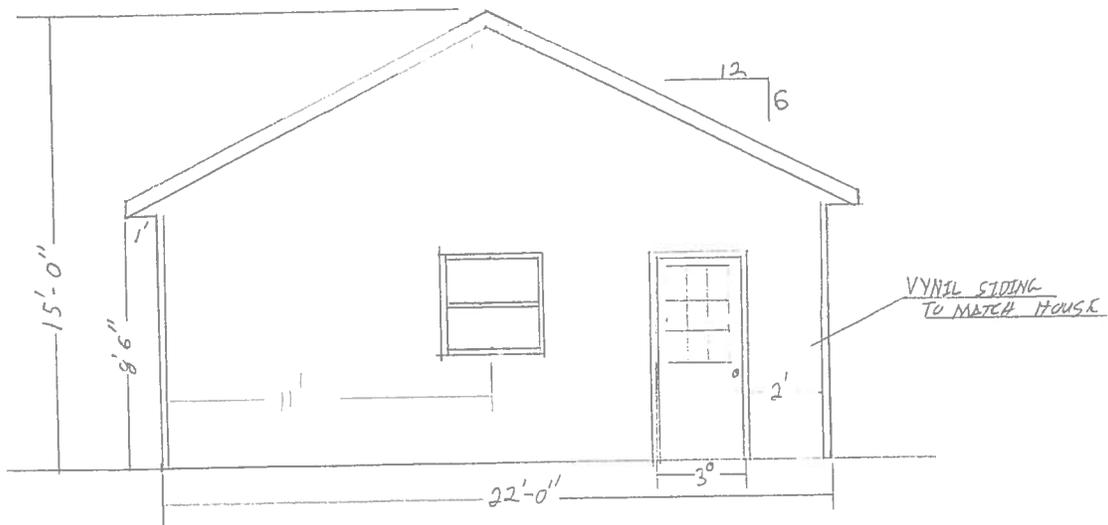
EAST ELEVATION HALL GARAGE
 - 2016 - SCALE 1/4" = 1'
 653 Gladstone SE



NORTH ELEVATION HALL GARAGE
 2016 SCALE 1/4" = 1'
 653 Gladstone SE



EAST ELEVATION GARDEN GARAGE
 2016 SCALE 1/4" = 1'
 655 Gladstone SE



SOUTH ELEVATION GARDEN GARAGE
 2016 SCALE 1/4" = 1'
 655 Gladstone SE





View from Gladstone Ave, existing



Views from Clark, existing garage & fence





City of East Grand Rapids, Michigan

CITY OF EAST GRAND RAPIDS NOTICE OF PUBLIC HEARING

A public hearing will be held at the request of builder Charles Sommer representing Joshua Hall, owner of 653 Gladstone, SE, and David Emdin, owner of 655 Gladstone, SE, to consider two garage setback variances at each address. They plan to demolish the existing shared detached garage which straddles their common side lot line, after which each property owner wishes to construct his own detached garage - a 12-by-22 one stall garage at 653 Gladstone and an 18-by-22 two stall garage at 655 Gladstone, both closer to the rear lot line and the common side lot line than the 3 foot setbacks that are required. Therefore, each property owner is requesting relief from Section 5.70A7 of the East Grand Rapids Zoning Ordinance for a side setback of 1 foot instead of 3 feet, a variance of 2 feet. They also request relief from Section 5.70A7 for a rear setback of 2 feet instead of 3 feet, a variance of 1 foot.

The application and plans may be viewed in the Public Works Administration office at the Community Center, or by linking from this notice at www.eastgr.org/notices.

The City Commission welcomes your views in this matter. You may express your views at the scheduled meeting or by writing to the Mayor and City Commission at 750 Lakeside Drive, SE, East Grand Rapids, Michigan 49506 or by email to the City Clerk at kbrower@eastgr.org. To be included in the hearing, written communications must contain the sender's name and address.

If you have any questions regarding this request, please contact the undersigned at 940-4817, or tfaasse@eastgr.org.

DATE: Tuesday, September 6, 2016 (note day of week)
TIME: 6:00 p.m.
PLACE: East Grand Rapids Community Center,
Commission Chambers
750 Lakeside Drive, SE,
East Grand Rapids, Michigan 49506

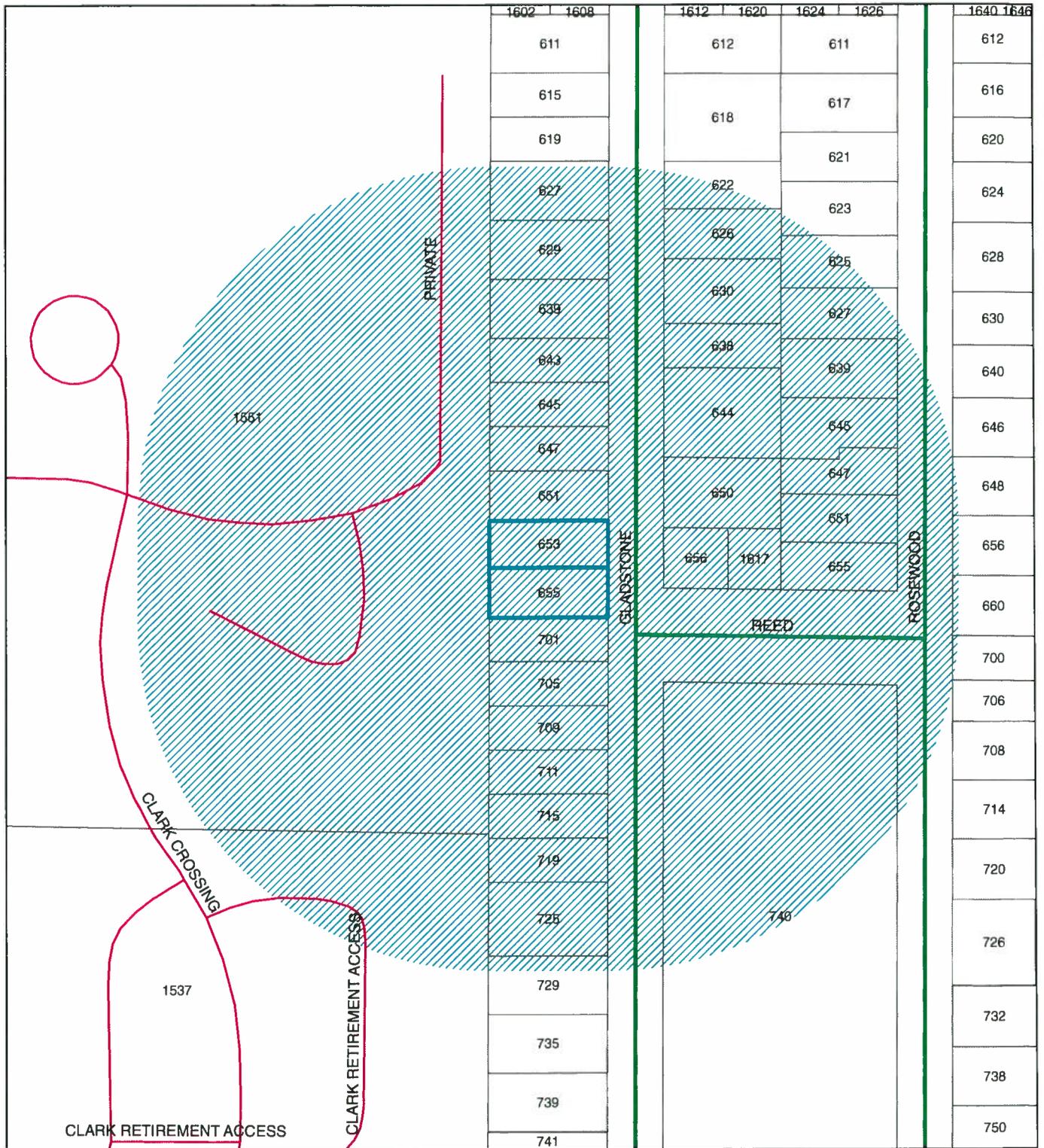
*39 notices
mailed
tfa*

Thomas A. Faasse
Zoning Administrator

PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION

750 Lakeside Drive, SE • East Grand Rapids, Michigan 49506
Telephone (616) 940-4817 Fax (616) 831-6121 www.eastgr.org





Variance
 653 & 655 Gladstone Avenue, S. E.
 EastGrand Rapids, MI





CITY OF
EAST GRAND RAPIDS

750 LAKESIDE DRIVE SE • EAST GRAND RAPIDS, MICHIGAN 49506

THOMAS A. FAASSE
ZONING ADMINISTRATOR

Memorandum

TO: Mayor and East Grand Rapids City Commission
FROM: Tom Faasse, Zoning Administrator
DATE: August 24, 2016

**RE: 610 Lovett Avenue, SE (Coiffeteria) SITE PLAN REVIEW
PPN: 47-14-33-276-013**

CITY COMMISSION ACTION REQUESTED: That the City Commission reviews the Coiffeteria Site Plan Application and votes to approve it with conditions as recommended by the Planning Commission.* (This is not required to be a public hearing, but comments were invited.)

*The City Commission shall consider the site plan, the Planning Commission recommendation, and the standards of Section 5.87 and approve, approve with conditions, or deny the site plan application. (Article 10, Section 5.85D3)

PLANNING COMMISSION RECOMMENDATION: On August 9, 2016, the Planning Commission voted to recommend to the City Commission that Coiffeteria's site plan application be approved with the following two conditions:

1. That Coiffeteria enter into a satisfactory shared access and parking agreement encompassing all property owners and business tenants of 610 Lovett, 2135 Wealthy, and 2137 Wealthy prior to City Commission review. (This agreement shall be recorded with the Kent County Register of Deeds.)
2. That any approval by the City Commission be contingent upon a condition that disruptive construction activities and/or transportation of large equipment upon or across the United Bank property occur either before or after bank hours (9-5, M-F & 9-noon Saturday) so as to minimize interference with the bank's ongoing business.

BACKGROUND: Coiffeteria Salon owner Marielle Shuster is represented by Attorney Catherine Jacobs and Architect Christopher Alexander (Progressive AE) in this Site Plan Review application, filed on July 21, 2016. The proposal is to replace a 12 by 13 foot existing one-story rear addition with a 20 by 20 foot one-story addition with a basement, and also to add a four-foot-wide handicap accessibility ramp along the south and west sides of the building, leading to the front door. The front porch and steps would be enlarged for greater accessibility, and a rear exterior stairway would be removed. The existing parking spaces along the south side of the building would be extended southward approximately four feet to maintain the required parking

space depth of 18 feet. Landscaping in the front would be moved as necessary and some “volunteer” trees and brush in the rear would be removed for the construction. The plans are illustrated on the attached architectural drawings.

Ordinarily, changes of this scale which do not alter the number of parking spaces are reviewed administratively, but since there is no previously-approved site plan, a full review should be conducted. On the other hand, the Planning Commission and City Commission recently (February 2016) approved rezoning this property to C-1 Commercial, and during that review process the applicant showed compliance with many of the same standards that are required for site plan review. The commissions confirmed at that time that:

- The rezoning is consistent with the goals, policies and future land use map of the City of East Grand Rapids Master Plan and consistent with recent development trends in the area.
- The beauty salon commercial use is compatible with the site’s physical, geological, hydrological and other environmental features, and that the potential uses allowed are compatible with surrounding uses in terms of land suitability, impacts on the community, density, potential influence on property values and traffic impacts.
- The site is capable of accommodating the uses allowed, considering existing or planned infrastructure including streets, sanitary sewers, storm sewer, water, sidewalks, and street lighting.
- Other factors deemed appropriate by the Planning Commission or City Commission, including meeting the standards for required parking.

The required standards for this review for Site Plan approval as listed in Article 10 of the Zoning Ordinance are:

- A. *The site plan must comply with all standards of this Article and all applicable requirements of this ordinance and all other applicable laws and regulations.*
- B. *The site must be designed in a manner that is harmonious, to the greatest extent possible, with the character of the surrounding area.*
- C. *The site must be designed so as to minimize hazards to adjacent property, and to reduce the negative effects of traffic, noise, smoke, fumes and glare to the maximum extent possible.*
- D. *All uses and structures subject to site plan review shall comply with the following design standards:*
 1. *Traffic Circulation.* No loss in the number of available parking spaces is proposed. The proposed shift of the parking spaces and resulting drive aisle width meet dimensional zoning standards. The use of the adjoining shared parking lot has been governed by a private Reciprocal Easement Agreement made April 4, 2008. However, that agreement involved only the Coiffeteria and Hoffman Jewelry parcels and not the building in which Independent Bank is a tenant, although they all share the same lot and driveways. (The building housing the resale boutique and the insurance agent also adjoins but has its own 8-foot-wide driveway off Wealthy.) Please note the Planning Commission’s recommendation above.
 2. *Storm water.* Area is already impervious; roof drainage will be tied to existing.
 3. *Landscaping.* Front rearrangement and rear area vegetation removal will be minimal as needed, according to the application.

4. *Screening.* As above. No additional screening is required in the zoning ordinance.
5. *Lighting.* No change is proposed to outdoor lighting.
6. *Utility Services underground unless impractical.* No change proposed.
7. *Exterior Uses.* No change is proposed.
8. *Emergency Access.* Vehicle access is unchanged. The new ramp improves pedestrian access.
9. *Water and Sewer.* Underground utilities from Lovett Avenue will be unchanged.
10. *Signs.* No change to signage is proposed.
11. *Building Design.* Main building unchanged. Exterior of the addition will maintain residential appearance.

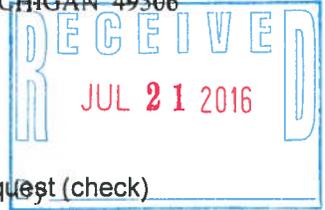
Given the minimal nature of the proposed changes, it appears that all required standards for site plan approval are either met or are inapplicable in this long-standing situation.\

As of August 24, we were told that the parties were near agreement on the parking and ingress-egress document, but all signatures had not yet been obtained. If we receive a copy of the agreement prior to the hearing, it will be made available to the commission.

Brian Donovan, City Manager



CITY OF EAST GRAND RAPIDS
750 LAKESIDE DRIVE SE • EAST GRAND RAPIDS, MICHIGAN 49506



Zoning Review Application

Project Name Coiffeteria
Property Address 610 Lovett
Project Description Remodel

(attach separate sheet if necessary)

Type of Request (check)	Fee
<input type="checkbox"/> Site Plan Review (Administrative)	\$200*
<input type="checkbox"/> Site Plan Review (Intermediate)	\$300*
<input checked="" type="checkbox"/> Site Plan Review (Complete)	\$500*
<input type="checkbox"/> Rezoning Application	\$800
<input type="checkbox"/> Special Use Permit	\$500
<input type="checkbox"/> Planned Unit Development	\$1,000*

*Escrow fees may also be required.

Permanent Parcel Number 41-14-33-276-013
Zoning District _____
Current Property Use Hair Salon

Contact Information (Please provide email addresses.)

	Company	Address	Contact Person	Daytime Phone
Applicant	Coiffeteria by Cottrell & Jacobs	610 Lovett	Catherine Jacobs	616-682-5574
Owner	Coiffeteria	610 Lovett	Maricelle Shuster	459-4884
Developer	Progressive AE	1811-4 Mile Rd. NE Grand Rapids, MI 49525	Jim Harmon Christopher Alexander	616-361-2644x 4909
Designer				

See the back of this form for items that must be attached to this application at the time of submission.

CM Daulton
Property Owner Signature *Attorney*
7/20/2016
Date

CM Daulton
Applicant Signature (if different)
7/20/2016
Date

Attachments Required For Preliminary Review

	Site Plan Review			Rezoning Application	Special Use Permit	Planned Unit Development
	Administrative	Intermediate	Complete			
A narrative describing the overall objective of the proposed project	X	X	X	X	X	X
Site Plan Drawings showing:						
A. Name of Applicant	X	X	X	X	X	X
B. North arrow	X	X	X	X	X	X
C. Legend	X	X	X	X	X	X
D. Scale of drawing	X	X	X	X	X	X
E. A location map w/exact location of project and surrounding area	X	X	X	X	X	X
F. Location, size, appearance of any existing or proposed signs	X	X	X	X	X	X
G. Location and type of exterior lighting	X	X	X	X	X	X
H. Screening and buffering with reference to dimensions and character	X	X	X	X	X	X
I. Dimensions of setbacks, locations, heights and size of buildings and structures	X	X	X	X	X	X
J. Proposed parking areas with lines showing individual spaces – include all barrier-free parking.	X	X	X	X	X	X
K. Highlights of changes made from existing building(s), parking or site plans.	X					
L. Locations of fire hydrants, curbs, gutters, utility lines, easements.	X	X	X	X	X	X
M. Topography of site			X	X	X	X
N. Proposed grading			X	X	X	X
O. Drainage, storm and sanitary sewers			X	X	X	X
Environmental Impact			X		*	*
Fiscal Impact Analysis			X		*	*
Traffic Impact Analysis			X		*	*

* Depending on the scope of the development, these items may be required.

This list is provided as a summary of ordinance requirements, and additional information may be required in some cases. Please see the appropriate section of the City's zoning ordinance for complete details of all the above.

July 27, 2016

Coiffeteria
610 Lovett SE
East Grand Rapids, MI 49506

Re: Coiffeteria Interior Finishes and Addition
Project Narrative

To Whom It May Concern:

A small addition and interior renovation is proposed for the Coiffeteria Salon and the existing building. The rear addition of the existing building shall be removed and an approximately 20 feet by 20 feet addition will be built in its place. This 400 square foot addition to the rear of the building will predominantly be in place of existing impermeable site elements.

This addition will accommodate the addition of duplicative services already provided at the facility including two additional salon chairs, and an additional washing station, manicure, pedicure, and treatment room to create accessible services located on the first floor but which are already currently provided by the business. The addition of an accessible ramp on the southwest exterior of the building leading to an accessible deck but maintaining the current entry roof will allow for accessibility throughout the site.

All proposed work adheres to the applicable regulations, zones, and codes for work in this location. The addition is proposed on the rear of the building which faces another commercial lot and does not extend closer to the neighboring northeast property than it does currently. All exterior colors for the new portion will complement the existing building and the character of the neighborhood. Materials are typical residential style including asphalt shingles and vinyl siding. The mansard roof allows for integration within the adjacent residential area while the inset low-slope roof allows for daylight access along the southeast wall of the second floor. Drainage from the roof will be accommodated on the site within existing permeable surfaces and the existing drainage system used. The metal and cables railing is intended to blend with the commercial aspects of nearby Gaslight Village. Existing exterior building materials and elements will remain including siding, roofs, and opening locations and sizes. Minimal work is required on the site in order to increase the accessibility of the building itself and will cause no increase in traffic or other negative impacts upon completion of construction.

Traffic circulation, storm water, screening, lighting, exterior uses, emergency vehicle access, and signage shall not be altered in the proposed scope of work. Landscaping shall be minimal in amount and adhere to the context of the neighborhood. Utility services including water and sewer will not be altered.

The proposed addition and renovation of this business will help to continue the vibrancy of East Grand Rapids while providing the optimal transitional space between the commercial Gaslight Village and the Lovett neighborhood community.

Sincerely,

Progressive AE



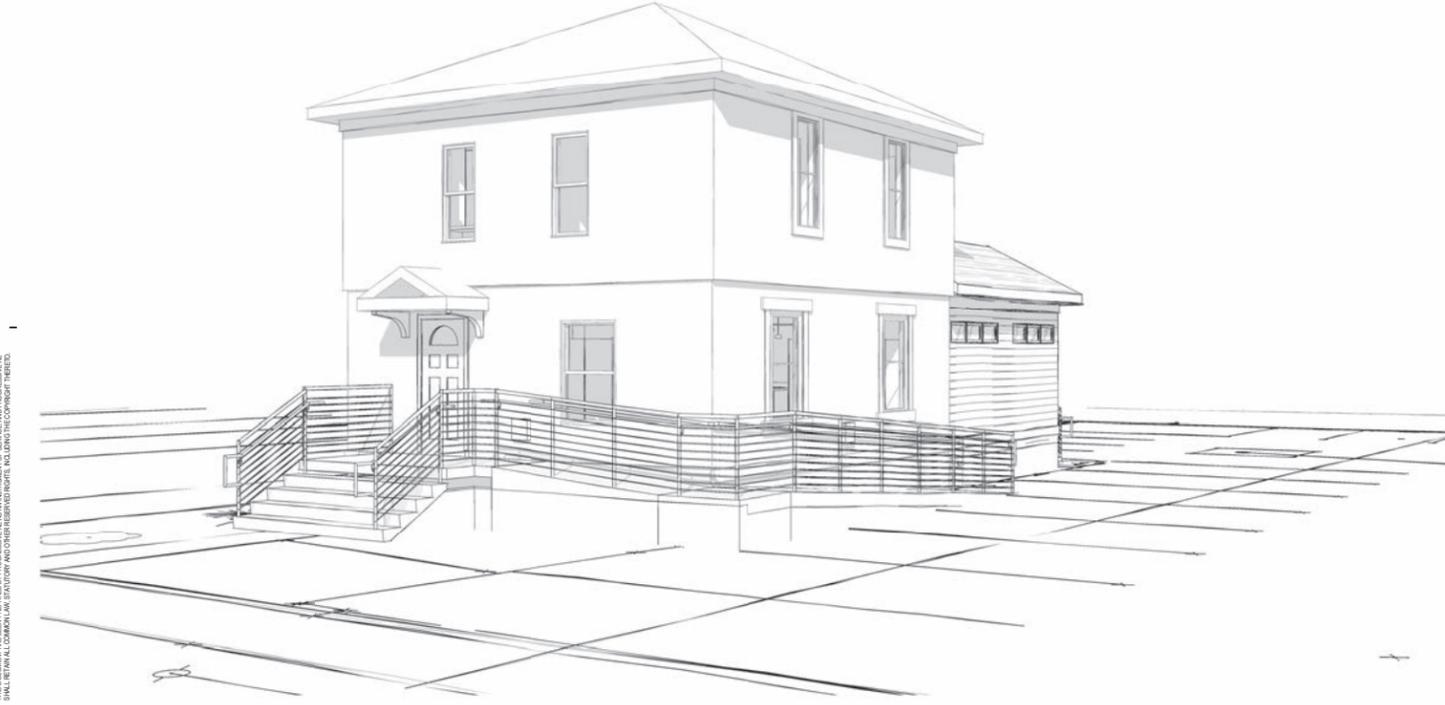
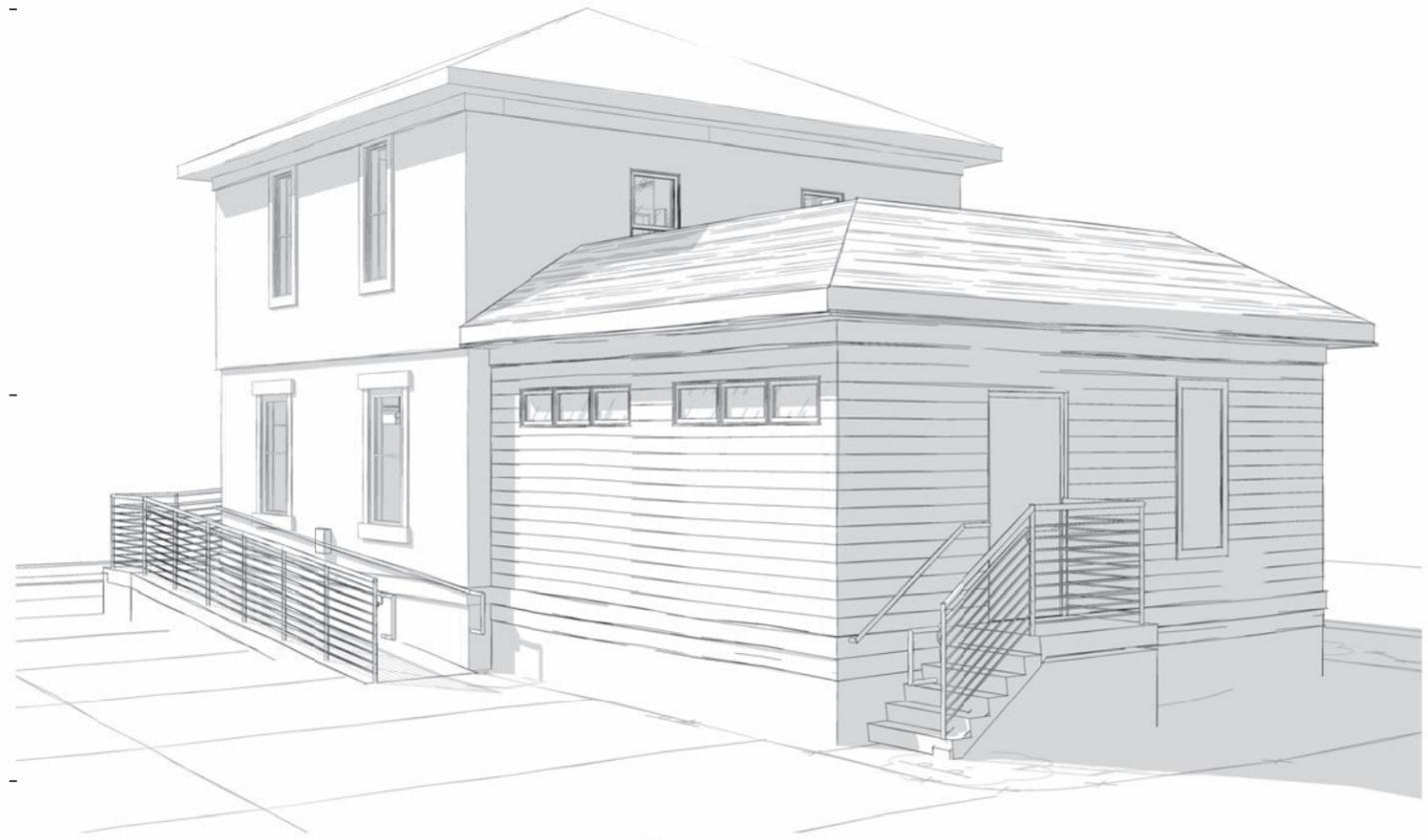
Christopher Alexander, AIA
Architect

INTERIOR FINISHES AND ADDITION

COIFFETERIA

610 Lovett SE

East Grand Rapids, MI 49506



DRAWING INDEX

GENERAL	TD001	TITLE DRAWING
CIVIL	C101	SITE PLAN
STRUCTURAL	S101	FOUNDATION AND FRAMING PLANS
ARCHITECTURE	AD101	DEMOLITION PLANS
	A100	BASEMENT AND FOUNDATION PLANS
	A101	FIRST FLOOR PLANS
	A102	SECOND FLOOR PLANS
	A201	EXTERIOR ELEVATIONS AND DETAILS

progressive | ae
 1311 AMBURN BLVD., Grand Rapids, MI 49506
 616.361.2664 OFFICE 616.361.1981 FAX
 www.progressiveae.com

TITLE SYMBOLS

NORTH ARROW AND PLAN TITLE

INDICATES PLAN NORTH

FIRST FLOOR PLAN

DRAWING SCALE: 1/16" = 1'-0"

SECTION / ELEVATION / DETAIL TITLE

DETAIL NUMBER

1

A101A

PRIMARY DRAWING WHERE CUT

DRAWING SCALE: 1/16" = 1'-0"

LOCATION SYMBOLS

CALLOUT REFERENCE

1

DETAIL NUMBER

A101

DRAWING WHERE DRAWN

BUILDING SECTION CUT

1

A101

WALL SECTION CUT

1

A101

DETAIL CUT

1

A101

INTERIOR ELEVATION REFERENCE

1

A101

DRAWING WHERE DRAWN

ELEVATION MARK

FLOOR LEVEL

100'-0"

SPOT ELEVATION INDICATOR

100'-0"

TAG SYMBOLS

ROOM TAG

ROOM NAME

ROOM NUMBER

AREA

KEYNOTE TAG

12 3456.01

PLAN / ELEVATION TAG

X

DEMOLITION TAG

X

WALL TAG

101

WALL TYPE

WINDOW TAG

30

MARK

CEILING TAG

BULKHEAD

8'-0"

HEIGHT AFF



PROXIMITY PLAN

1" = 100'-0"

INTERIOR FINISHES AND ADDITION
COIFFETERIA
 610 Lovett SE
 East Grand Rapids, MI 49506

ISSUANCES
 BIDS AND PERMITS
 06/24/2016

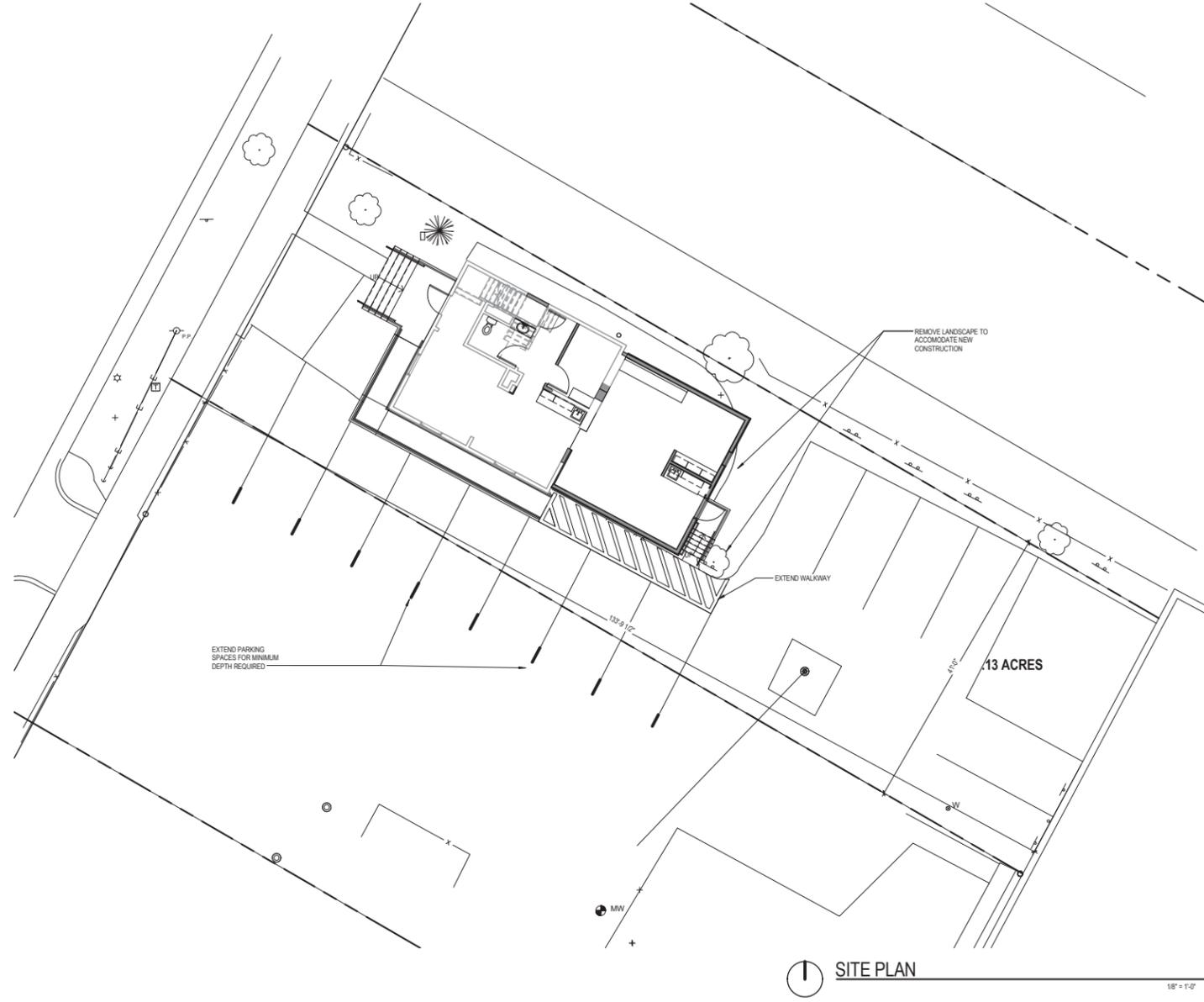
NO.	DATE	DESCRIPTION

FILE NO	76590001
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JC/ENG BY	CFA
CHECKED BY	
PROJECT MGR	JFH

TITLE DRAWING
TD001

DRAWING: 10/27/16
 C:\Users\jchambers\OneDrive\Documents\COIFFETERIA\

THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE
 SHALL BE NEUTRAL TO ANY AND ALL DISPUTES BETWEEN THE CLIENT AND THE CONTRACTOR.



SITE PLAN

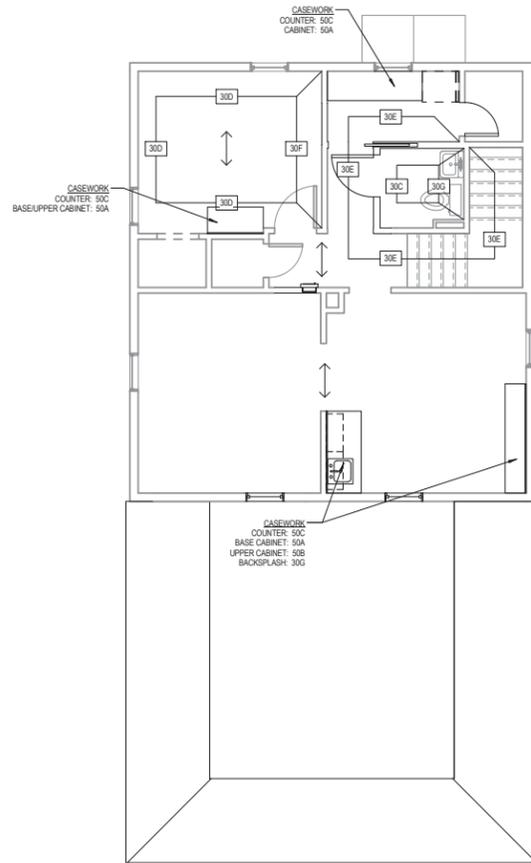
1/8" = 1'-0"

INTERIOR FINISHES AND ADDITION
COIFFETERIA
 610 Lowell SE
 East Grand Rapids, MI 49506

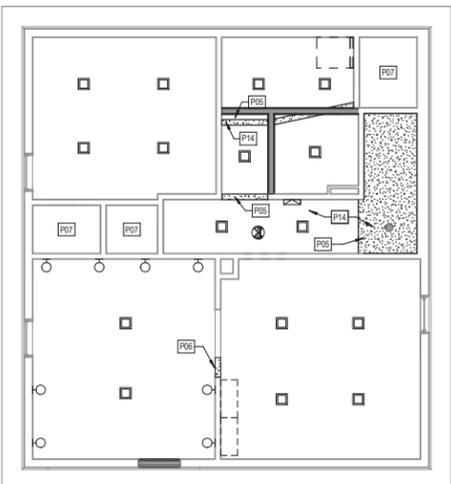
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 BIDS AND PERMITS
 05/24/2016

REVISIONS
 NO. DATE DESCRIPTION

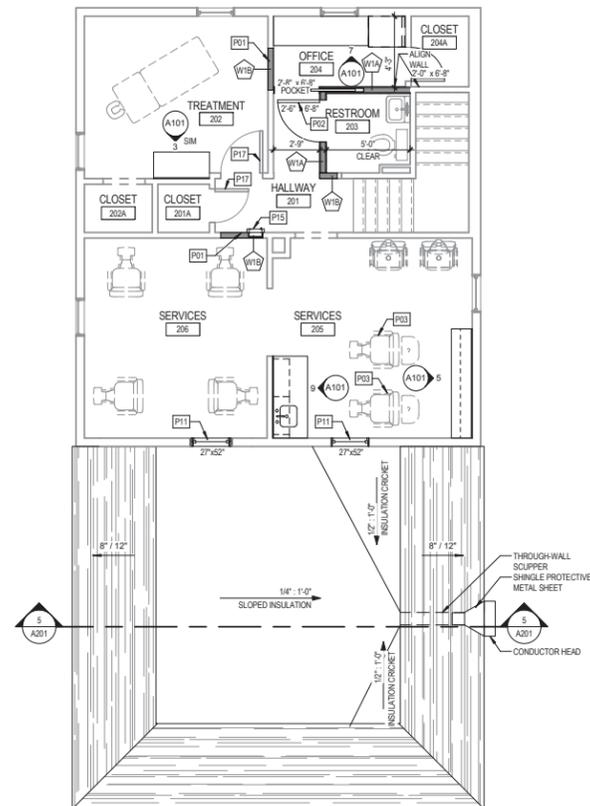
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 DRAWN BY CPA/TMM
 JC/ENG BY CPA
 CHECKED BY
 PROJECT MGR JFH



SECOND FLOOR FINISH PLAN 1/4" = 1'-0"



SECOND FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"



SECOND FLOOR PLAN 1/4" = 1'-0"

FINISH MATERIAL LIST							
MARK	PRODUCT	MANUFACTURER	STYLE / PATTERN / FINISH	SIZE	COLOR	NOTES	REPRESENTATIVE
10 FLOORS							
10A	LUXURY VINYL TILE	CONGOLEUM	TIMELESS / STRUCTURE / HICKORY	9" X 48"	HK201 FLAX	TO BE INSTALLED IN 1/3 OFFSET PATTERN	KELLY CASSIDY (616-724-6778)
20	BASE						
20A	BASE				30B	PROFILE OF NEW TRIM TO MATCH EXISTING TRIM	
30	WALLS						
30A	PAINT	SHERWIN WILLIAMS			SW7650 ELLIE GRAY		
30B	PAINT	SHERWIN WILLIAMS			SW7008 EXTRA WHITE		
30C	PAINT	SHERWIN WILLIAMS			SW6794 BRAVO BLUE		
30D	PAINT	SHERWIN WILLIAMS			SW6545 GRAYE MIST		
30E	CERAMIC WALL TILE	DAL-TILE	BRICKWORK PAVERS	2" X 8" X 4"	BW01 STUDIO	TO BE INSTALLED IN 1/3 BRICK PATTERN, ALTERNATE ROWS WITH EACH SIZE. BUTT JOINT TILES WITHOUT GROUT	JENNIFER MCCORMACK (616-662-4748)
30F	VINYL WALLCOVERING	D.L. COUCH	SOURCE ONE COLLECTION / SCARBOROUGH / ZVISA-05		FDG		CHELSEA GREENE (616-389-0784)
30G	PLASTIC LAMINATE	FORMICA	MATTE FINISH	5'-0" WIDE X 12'-0" HIGH	WHITE GREEK KEY 9498-58	SHEET TO BE INSTALLED VERTICALLY WITH NO SEAMS, UNLESS NOTED OTHERWISE	BETH SHIELDS (616-361-7351)
40	CEILING						
40A	GYPSUM BOARD CEILING				30B		
50	CASEWORK						
50A	PLASTIC LAMINATE	WILSONART	PREMIUM AEON		ASIAN NIGHT 799K-18	BASE CABINET FINISH	SUE KAMPS (616-291-1430)
50B	PLASTIC LAMINATE	ARBORITE			TATAM HANARO P-301 CA	UPPER CABINET FINISH	JOSH WILSON (616-450-7205)
50C	PLASTIC LAMINATE	WILSONART	FINE VELVET TEXTURE		GESSO TRACERY 4962-38		SUE KAMPS (616-291-1430)
50D	QUARTZ	DWYER MARBLE AND STONE			LIGHT GREY		DIANNE KADISH (248-476-4844)
60	MISCELLANEOUS						
60A	FABRIC	CARNEGIE FABRICS	MAXWELL STREET		11	UPHOLSTERED BACK OF BANQUETTE	MICHAEL CIRANNA (248-745-9990)
60B	FABRIC	HBF TEXTILES	MIRAGE 898		81 CLOUDS	UPHOLSTERED SEAT OF BANQUETTE	NICK PICCIONE (248-642-4430)

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION = 100'-0" / 0'
- EXISTING BUILDING CONDITIONS BASED ON LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- WALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- PATCH ALL DISTURBED SURFACES WITH MATERIALS TO MATCH FLUSH WITH ADJACENT SURFACE CONSTRUCTION.
- FURNITURE AND EQUIPMENT SHOWN FOR REFERENCE AND COORDINATION.

REFLECTED CEILING PLAN GENERAL NOTES

- CEILING HEIGHTS INDICATED ARE DIMENSIONED FROM THE FINISHED FLOOR BELOW.
- CONTINUOUS CEILING AND PATCHING TO BE FLUSH AND ALIGNED TO ADJACENT.
- COORDINATE MECHANICAL AND ELECTRICAL TO ASSURE PROPER CLEARANCES AND LAYOUT.

FINISH PLAN GENERAL NOTES

- DEMOLITION NOTES:
 - PATCH AND REPAIR ALL DAMAGED MATERIALS AND SURFACES DURING DEMOLITION.
- FLOORING:
 - INSTALL FLOORING MATERIAL IN DIRECTION INDICATED ON FINISH PLAN. EXCEPT WHERE OTHERWISE INDICATED.
 - ALL FLOORING THROUGHOUT TO BE 10A. EXCEPT WHERE OTHERWISE INDICATED.
- WALL BASE/WINDOW TRIM/CROWN MOLDING:
 - ALL WALL BASE AND CROWN MOLDING TO BE NEW. PROFILE AS SELECTED BY OWNER. TO BE PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
 - EXISTING WINDOW TRIM TO BE SANDED SMOOTH AND PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
 - ALL NEW WINDOW TRIM TO MATCH EXISTING TRIM IN PROFILE. TO BE PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
- CEILING:
 - ALL GYPSUM BOARD CEILINGS TO BE PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
- BULKHEADS:
 - PAINT BULKHEAD FACE AND UNDERSIDE TO MATCH ADJACENT WALL FINISH. EXCEPT WHERE OTHERWISE INDICATED.
- WALLS:
 - ALL WALLS TO BE PAINTED. COLOR TO BE 30A. EXCEPT WHERE OTHERWISE INDICATED.
- DOORS/DOOR FRAMES/WINDOW FRAMES:
 - ALL EXISTING INTERIOR DOORS TO BE SANDED SMOOTH AND PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
 - ALL EXISTING INTERIOR DOOR AND WINDOW FRAMES TO BE SANDED SMOOTH AND PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
 - ALL NEW INTERIOR DOORS, DOOR FRAMES, AND WINDOW FRAMES TO MATCH EXISTING PROFILES AND BE PAINTED. COLOR TO BE 30B. EXCEPT WHERE OTHERWISE INDICATED.
 - EXTERIOR DOORS TO BE RESIDENTIAL GRADE EXTERIOR FIBERGLASS. TO BE PAINTED. COLOR AND STYLE AS SELECTED BY OWNER.
- STAIRS:
 - EXISTING STAIR COVERING TO BE REMOVED.
 - STAIRS TO BE SANDED SMOOTH AND STAINED. STAIN TO MATCH 50A. IF DISCOVERED THAT STAIRS ARE NOT IN SUITABLE CONDITION TO BE STAINED, FINISH TO BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - NEW RAILINGS TO BE INSTALLED. PAINTED FINISH. COLOR TO BE 30B.
- DIFFUSERS AND COVERS:
 - PAINT WALL DIFFUSER AND AIR GRILLE COVERS TO MATCH ADJACENT WALL.
 - ALL FLOOR COVERS TO BE BRUSHED NICKEL OR EQUAL.

INTERIOR WALL LEGEND

- WOOD STUD FRAMING @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE
 - W1A 2X4 WOOD STUDS
 - W1B INFILL FRAMING TO MATCH EXISTING CONSTRUCTION; FIELD VERIFY
- WOOD STUD FRAMING @ 16" O.C. W/ 5/8" GYPSUM BOARD ONE SIDE; EXTERIOR SIDE 1/2" PLYWOOD SHEATHING, VAPOR BARRIER, AND EXTERIOR WALL FINISH.
 - W2A 2X6 WOOD FRAMING
- WOOD STUD FRAMING @ 16" O.C. W/ 5/8" ONE SIDE.
 - W3A 2X FRAMING
- POURED CONCRETE. SUBGRADE APPROVED MASONRY UNITS AND MORTAR.
 - C1A 8" THICK

REFLECTED CEILING PLAN LEGEND

- EXISTING CEILING
- GYPSUM BOARD
- CEILING HEIGHT INDICATOR
- PLASTER OR GYPSUM WALL BOARD CONTROL JOINT
- WALL-MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (EMERGENCY FIXTURES SHADED)
- PENDANT LIGHT FIXTURE
- UNDERCABINET LIGHTING
- ACCENT TRACK LIGHTING
- FIRE EXIT SIGN LOCATION
- EGRESS LIGHTING - NUMBER PER SIZING AND CODE REQUIREMENTS

FINISH PLAN LEGEND

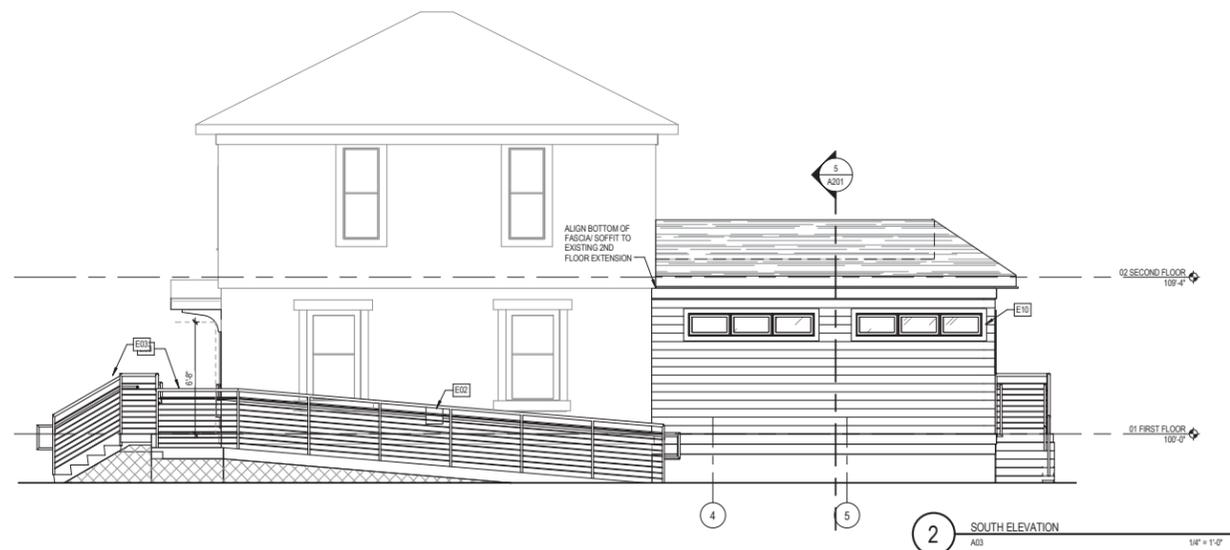
- FLOOR FINISH CHANGE INDICATOR
- FLOOR / WALL FINISH INDICATOR AND EXTENTS
- FLOOR PATTERN DIRECTION

KEYNOTES

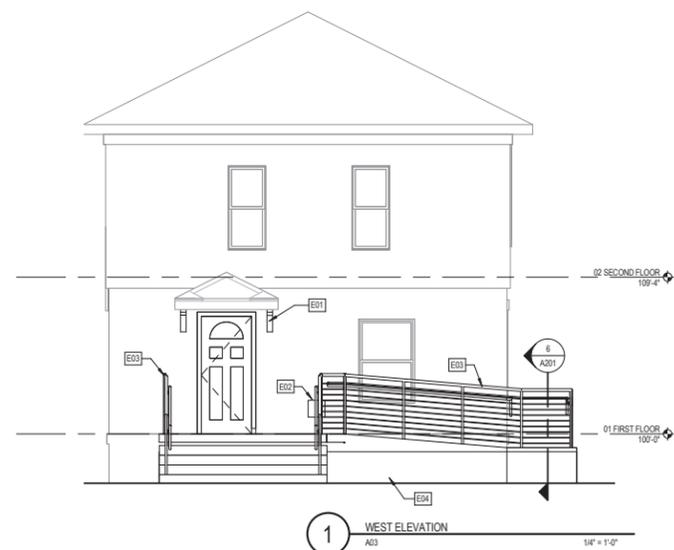
MARK	DESCRIPTION
P01	INFILL WALL TO MATCH ADJACENT, EACH SIDE
P02	NEW WOOD DOOR, SIZE AS INDICATED
P03	EQUIPMENT BY OWNER, COORDINATE EXACT LOCATION FOR REQUIRED UTILITIES
P06	INFILL CEILING TO MATCH ADJACENT
P08	INFILL BULKHEAD TO MATCH ADJACENT
P09	EXISTING LIGHTING TO REMAIN
P11	NEW WINDOW, SIZE AS INDICATED. SILL AT 2'-3" A.F.F.
P14	CEILING TO BE FLUSH WITH ADJACENT CEILING.
P15	FIRE EXTINGUISHER CABINET
P17	EXISTING DOOR TO RECEIVE NEW LEVER STYLE LATCH AND HINGES.

7/20/2016 10:58 AM
C:\Users\jcarroll\OneDrive\Documents\COIFFETERIA - Interior - A102.dwg

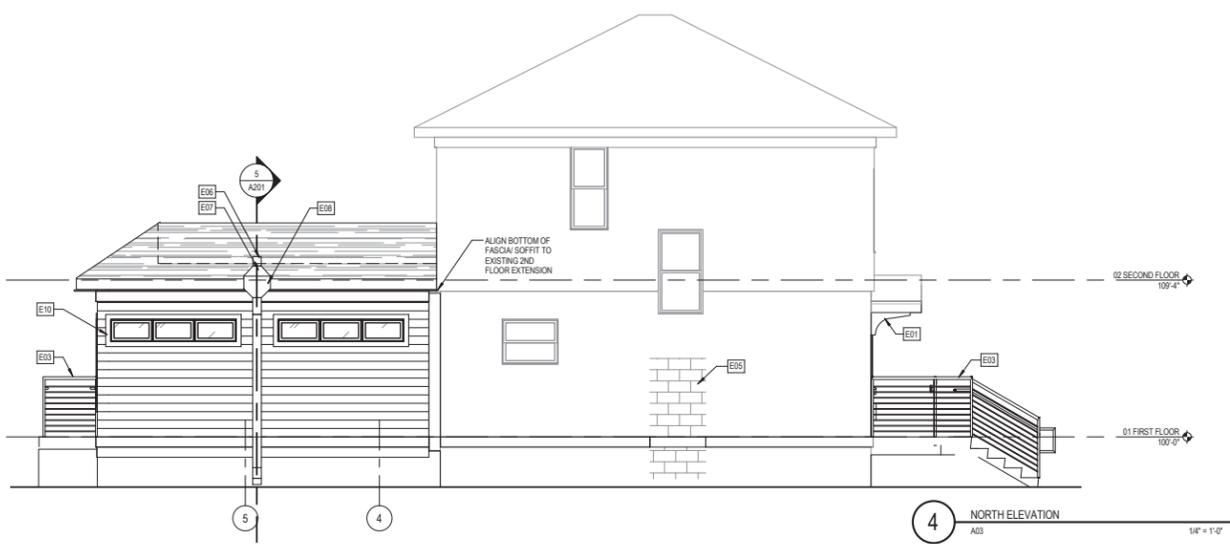
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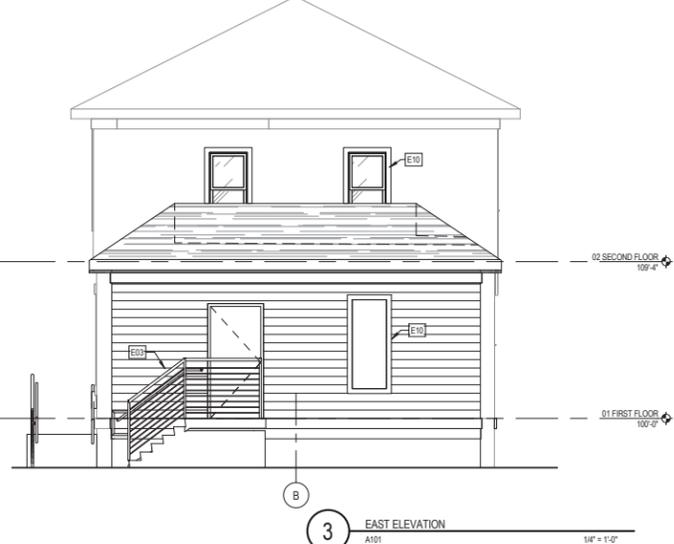
2 SOUTH ELEVATION
A03 1/4" = 1'-0"



1 WEST ELEVATION
A03 1/4" = 1'-0"

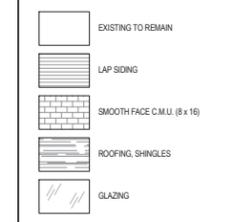


4 NORTH ELEVATION
A03 1/4" = 1'-0"



3 EAST ELEVATION
A101 1/4" = 1'-0"

EXTERIOR MATERIALS LEGEND



EXTERIOR ELEVATION KEYNOTES

KEYNOTE	DESCRIPTION
E01	REPLACE COLUMNS WITH BRACKETS, VERIFY SIZE AND COMPLIANCE WITH APPLICABLE CODES, VERIFY SUBSTRATE AND SUBSTRUCTURE FOR SUPPORT IN FIELD.
E02	REQUIRED EGRESS LIGHTING FIXTURE.
E03	EXTERIOR GUARDRAIL AND HANDRAIL SYSTEM.
E04	PAINTED WOOD TRELLIS SCREEN.
E05	INFILL WALL MATCH BLOCK AND TOOTH IN TO ADJACENT COURSING, PAINT TO MATCH ADJACENT.
E06	THROUGH-WALL SCUPPER.
E07	SHINGLE PROTECTIVE METAL SHEET.
E08	CONDUCTOR HEAD.
E10	WINDOW TRIM TO MATCH EXISTING WINDOW TRIM STYLE AND SIZE, TYPICAL.

progressive | ae

1811 AMM RAIL, Grand Rapids, MI 49505
616.361.2664 OFFICE 616.361.1981 FAX
www.progressiveae.com

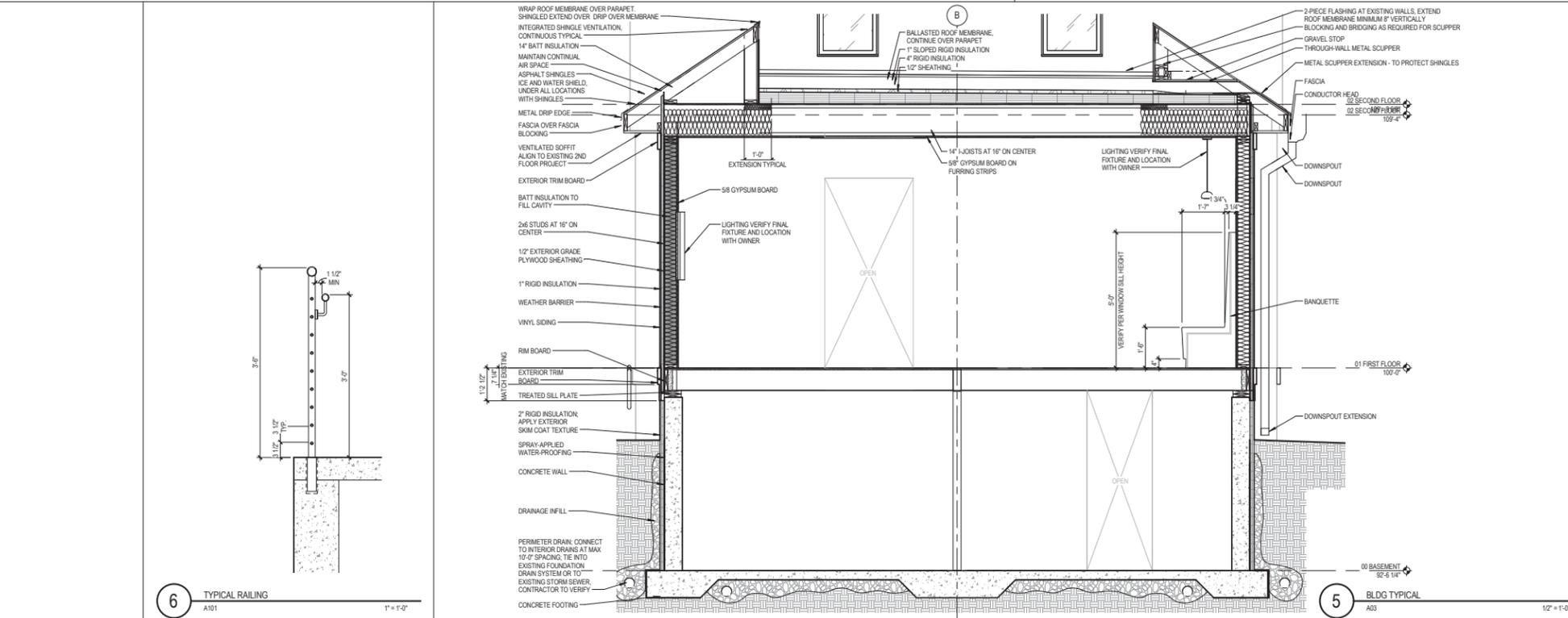
INTERIOR FINISHES AND ADDITION
COIFFETERIA
610. Lower SE
East Grand Rapids, MI 49506

ISSUANCES
BIDS AND PERMITS
05/24/2016

REVISIONS
NO. DATE DESCRIPTION

FILE NO 75590001
DRAWN BY JC/ENG
CHECKED BY JFH
PROJECT MGR JFH

EXTERIOR ELEVATIONS AND DETAILS
A201



6 TYPICAL RAILING
A101 1" = 1'-0"

5 BLDG TYPICAL
A03 1/2" = 1'-0"

7/20/2016 10:58:07 AM
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THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL BE NEUTRAL TO ANY AND ALL DISPUTES BETWEEN THE CLIENT AND THE CONTRACTOR.









BLUE FOUR HOLDINGS, LLC
609
LOVETT AVE SE

TIMMER J SCOTT &
2125
WEALTHY ST SE

WITHEY CONSTANCE M TRUST
558
LOVETT AVE SE

BROWN STEVEN W
602
LOVETT AVE SE

GILMORE JULIE A
606
LOVETT AVE SE

SHUSTER MARIELLE PROTECTION TRUST
610
LOVETT AVE SE

GEENEN DAVID ET AL
2179
WEALTHY ST SE

HOFFMAN MICHAEL S TRUST
2135
WEALTHY ST SE

GRIMES RICHARD TRUST
2137
WEALTHY ST SE

TRYAN CAPITAL LLC
2143
WEALTHY ST SE

FIFTH THIRD BANK
2145
WEALTHY ST SE

YU DEVELOPMENT LLC
2128
WEALTHY ST SE

41

42

66

104

40.3

47.7

45

00

LOVETT AVE

WEALTHY ST



City of East Grand Rapids, Michigan

CITY OF EAST GRAND RAPIDS PLANNING COMMISSION & CITY COMMISSION NOTICE OF PUBLIC MEETINGS FOR SITE PLAN REVIEW

Coiffeteria, a beauty salon located at 610 Lovett Avenue, SE, has applied for Site Plan Review as required by Article 10 of the East Grand Rapids Zoning Ordinance. The applicant plans to replace a small one-story rear addition with a 20 by 20 foot one-story addition with basement. They also propose to add a handicap-accessibility ramp along the south and west sides of the building, leading to the front door. Changes of this scale which do not affect parking are ordinarily reviewed administratively, but since there is no previously-approved site plan, a full review will be conducted. If the Planning Commission recommends approval at its regular August meeting, the City Commission will conduct its review at the first regular meeting in September (NOTE - change of day due to holiday). A public hearing is not required.

The application and plans may be viewed in the Public Works Administration office at the Community Center, or by linking from this notice at www.eastgr.org/notices.

You are welcome to comment on this matter. You may comment at the scheduled meetings or write to the Commissions. Address mail to either commission at the address below. Address email to the Planning Commission Recording Secretary, Lynda Taylor, at ltaylor@eastgr.org. To email the City Commission, address the City Clerk, Karen Brower, kbrower@eastgr.org. To be included in the hearing, written communications must contain the sender's name and address. Questions regarding this application may be directed to the Zoning Administrator at (616)940-4817, or by email to tfaasse@eastgr.org.

PLANNING COMMISSION MEETS TUESDAY, AUGUST 9, 2016, AT 5:30 PM

CITY COMMISSION MEETS TUESDAY, SEPTEMBER 6, 2016, AT 6:00 PM

PLACE: East Grand Rapids Community Center
Commission Chambers
750 Lakeside Drive, SE
East Grand Rapids, Michigan 49506

Thomas A. Faasse
Zoning Administrator

*60 notices
sent
7-27-16
tst*

PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION

750 Lakeside Drive, SE • East Grand Rapids, Michigan 49506
Telephone (616) 940-4817 Fax (616) 831-6121 www.eastgr.org

Partners with





CITY OF EAST GRAND RAPIDS

750 LAKESIDE DRIVE SE-EAST GRAND RAPIDS, MICHIGAN 49506

DOUG LA FAVE
ASSISTANT CITY MANAGER

MEMORANDUM

TO: Honorable Mayor and City Commissioners
FROM: Doug La Fave, Assistant City Manager and Mark Herald, Director of Public Safety
DATE: 7/20/2016
RE: Traffic Commission

Action Requested: That the City of East Grand Rapids transition from an advisory Traffic Commission that reviews and makes recommendations to the City Commission related to traffic related issues/complaints by amending the City Code that authorizes staff to address traffic related issues as required by law through the use of the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). This would require repealing/amending Chapter 101 section 10.4 of the City Code. Traffic related items that are not addressed by the MMUTCD that arise from citizen petitions or appeals through the existing policy will be directed to the Infrastructure Committee and/or addressed by the full City Commission.

Background: The City of East Grand Rapids has had a Traffic Commission comprised of appointed residents to address traffic related issues in an advisory capacity to the City Commission. The Traffic Commission has been in place for many years including before the development of unified traffic control device standards. As the City of East Grand Rapids developed with housing plats, roads, population, etc. the growth of the community had impacts on vehicular traffic. As East Grand Rapids has become built out changes to traffic control devices and traffic related issues have become less frequent.

Coinciding with the development of the City of East Grand Rapids was the history and evolution of traffic control devices across the United States. In the early years of the automobile, there were limited traffic control devices and standards to safely guide automobile traffic across the United States. Automobile clubs were formed across the country in and around cities to develop amongst membership appropriate signage for different traffic situations. Cities, villages and towns across the country also created committees, the same or similar to traffic commissions, to help address citizen traffic complaints and to attempt to come up with solutions to problems for motorists in their respective communities. With this approach solutions were highly localized, but lacked uniformity across the country. Different signs, placements and designs led to issues for motorists from one community to the next. This led to confusion and had the opposite impact that local groups and commissions set forth to accomplish, which was safety. The non-uniform approach to traffic control devices led to a quilt-like approach to rules for standards across the country. In 1924 the First National Conference on Street and Highway Safety was held to look at national standards to address traffic control devices. Over the 20th century a unified manual was developed called the Manual on Uniform Traffic Control Devices (MUTCD) and in Michigan called the Michigan Manual on

Uniform Traffic Control Devices (MMUTCD) (approved by federal law). The MUTCD defines the standards that are to be used by road managers to install and maintain traffic control devices on all public streets, highways, bikeways, and private roads open to public travel. The MUTCD, which has been administered by the Federal Highway Administration (FHWA) since 1971, is a compilation of national standards for all traffic control devices, including road markings, highway signs, and traffic signals. It is updated periodically to accommodate the changing transportation needs and address new safety technologies, traffic control tools and traffic management techniques.

The important questions from the perspective of a local agency (the City of East Grand Rapids), are how does the State MUTCD apply to the local roads? Are the local agencies bound to the State standards, which in turn are bound to the Federal standards? Each State enacts its own laws regarding compliance with standards for traffic control devices in that State. If the State law has adopted a State Supplement or a State MUTCD that FHWA has found to be in substantial conformance with the national MUTCD, then those State requirements are what the local road agencies (as well as the State DOT) must abide by. This is the case in Michigan as noted previously, with the MMUTCD. The exception is when traffic control devices are installed on a federal aid project, in which case the Code of Federal Regulations (23 CFR 655.603(d)(2)) specifically requires those devices to comply with the national MUTCD before the road can be opened or reopened to the public for unrestricted use (An example would be the current Lake Drive Project).

The City of East Grand Rapids Traffic Commission does not regularly meet because East Grand Rapids is a built out community and most of the traffic issues have been resolved as this growth occurred. It should be noted that as East Grand Rapids addressed traffic concerns on a local level over this period, it is likely that some local solutions were deployed as were across the country, that were not recognized as best practices. Over the 20th century the MMUTCD was developed to guide solving traffic issues by utilizing a scientific and research approach that has been proven to be effective in appropriately addressing traffic concerns.

With the resource and requirement of the use of MMUTCD, the minimal traffic related issues and low frequency of meetings for the Traffic Commission, staff believes that the MMUTCD should be utilized to address traffic issues. This will provide for uniformity and the correct placement and application of traffic safety devices and provide for a best practice with respect to safety and liability for the City.

It should be noted that in 2003 the City of East Grand Rapids repealed most of the local traffic code and adopted the Michigan Vehicle Code, to implement uniformity across jurisdictions with respect to moving violations, etc. This same logic follows for the request to follow the MMUTCD with respect to regulations for traffic safety devices and placement.

This has been reviewed by the Finance Committee and found to be in order.

Brian Donovan, City Manager

**AN ORDINANCE TO AMEND THE CODE OF THE CITY
OF EAST GRAND RAPIDS BY REPEALING SECTION 10.7
OF CHAPTER 101 OF TITLE X OF SAID CODE**

THE CITY OF EAST GRAND RAPIDS ORDAINS:

Section 1. Section 10.7 of Chapter 101 of Title X of the Code of the City of East Grand Rapids is hereby repealed in its entirety.

Section 2. This Ordinance shall be effective on September _____, 2016.

Section 3. This ordinance shall be published in full pursuant to the provisions of Chapter VII, Section 7.5 of the Charter of the City of East Grand Rapids.

City of East Grand Rapids

By _____
Karen K. Brower
City Clerk

10.5. References in uniform traffic code. References in the uniform traffic code to "governmental unit" or "municipality" shall mean the city of East Grand Rapids, Kent County, Michigan. (Ord., 2-14-2003)

10.6. Enforcement; sanctions in uniform traffic code.

- A. The uniform traffic code may be enforced by any public safety officer or other employee of the city authorized to enforce criminal ordinances or authorized to issue civil infractions.
- B. The penalties provided by the uniform traffic code are adopted by reference, provided, however, that the city may not enforce any provision of the uniform traffic code for which the maximum period of imprisonment is greater than ninety-three (93) days.
- C. When any person is found guilty of a misdemeanor or responsible for a civil infraction pursuant to this section, the judge or magistrate shall summarily determine and tax the costs of the action which shall include all expenses, direct and indirect, to which the city has been put in connection with the violation or infraction up to the entry of judgment. (Ord., 2-14-2003)

10.7. Traffic commission.

- A. **Definitions.** When used in this section, the following words shall have the following meanings:

TRAFFIC COMMISSION shall mean the body created in subsection B of this section.

TRAFFIC ENGINEER shall mean the office established by uniform traffic code rule 125 (R 28.1125 of the Michigan administrative code).

- B. **Traffic commission; creation.** There is hereby created a traffic commission to act in an advisory capacity in all matters relating to traffic and safety upon the highways and to investigate and make reports to the city commission of its findings, together with recommendations concerning such matter. Said commission shall be composed of one (1) member of the city commission who shall be appointed annually by the mayor, and six (6) resident taxpayers of East Grand Rapids who shall be appointed by the city commission for terms of one (1) year. The appointment of those members who are resident taxpayers shall be made as of the first Monday in July of each year. The city manager or other administrative official designated by the city manager and the public safety director may attend meetings of the traffic commission but shall have no vote. The traffic commission shall organize annually as soon after the first Monday in July as is practicable and shall select one (1) of its members as chairman. The members of the traffic commission shall serve without compensation and may be removed in the same manner as other city officers.
- C. **Powers of traffic commission.** Any and all authority to act granted to the traffic engineer under the provisions of the uniform traffic code, including, without limitation, the authority granted by uniform traffic code rule 153 (R 28.1153 of the Michigan administrative code), is limited to, subject to, and conditioned upon his first securing in every instance approval of the traffic commission. Upon approval by the traffic commission, a

report thereof shall be filed with the city commission prior to becoming effective. Unless reversed or modified by the city commission at the first meeting after such filing with the city commission, the actions of the traffic engineer approved by the traffic commission shall take effect immediately after said first meeting of the city commission. (Ord., 2-14-2003)

10.8. **Taxicab stands.** In designating taxicab stands in accordance with uniform traffic code rule 139 (R 28.1139 of the Michigan administrative code), the following shall apply:

- A. Taxicab stands shall be assigned to taxicab owners authorized to do business in the city upon the payment of ten dollars (\$10.00) for each space assigned.
- B. Sufficient spaces shall be assigned to each owner to accommodate his needs and when assigned shall be for the exclusive use of the owner to whom the particular space is assigned for the duration of the license year as set forth in title VII, chapter 71 of this code. Such assignment shall be deemed a permit subject in all respects to the provisions of title VII, chapter 71 of this code.
- C. Assignments shall be made so as to give each owner equal access to prospective users as nearly as possible. The traffic engineer shall have authority to alter or rotate assignments at any time.
- D. The taxicab stand assignee's rights shall be subject to the provisions of this chapter and the rights of the owners of land abutting the street at the stand location. (Ord., 2-14-2003)

10.9. **Snow removal.** No person shall move or deposit snow in such a manner as to interfere with an adjoining owner's use of a driveway or access walk. The city manager shall have the authority to issue regulations for the enforcement of this section. Such regulations shall be subject to review by the city commission at the next meeting of the commission following issuance of the same. The license issued to a snow removal contractor under section 7.90 of this code may be revoked by the city clerk upon violation by said contractor of the provisions of this chapter or the regulations issued hereunder. (Ord., 2-14-2003)

10.10. **Embracing prohibited.** No operator of a motor vehicle shall embrace, or be embraced by another person, while his vehicle is in motion. (Ord., 2-14-2003)

10.11. **Passenger vehicle equipment.** No passenger vehicle shall be operated upon any street or roadway unless such motor vehicle is properly equipped with fenders or with mudguards of not less than eight (8) inches in width. (Ord., 2-14-2003)

10.12. **Vehicles parked during darkness.** Vehicles which are parked during the hours of darkness shall have a red light on the left rear thereof which is visible for a distance of two hundred (200) feet, or a red reflector or reflex mirror on the left rear which shall be visible in the lights of a motor vehicle for a distance of two hundred (200) feet. (Ord., 2-14-2003)

10.13. **Parking of vehicles.** No motor vehicle shall be parked opposite or within ten (10) feet of the prolonged or extended edges of a public or private driveway. (Ord., 2-14-2003, Ord., 4-14-2003)

*Amended
5-27-11*

PROCEEDINGS OF THE CITY COMMISSION
CITY OF EAST GRAND RAPIDS

Regular Meeting Held August 15, 2016

Mayor Seibold called the meeting to order at 6:00 p.m. in the City Commission Chambers at the East Grand Rapids Community Center and led the audience in the Pledge of Allegiance.

Present: Commissioners Dills, Hamrick, Miller, Skaggs, Zagel, and Mayor Seibold

Absent: Commissioner Duncan

Also Present: Assistant City Attorney Tobias; Assistant City Manager LaFave; Public Safety Director Herald; Finance Director Mushong; City Clerk Brower; Sergeants Schweitzer and Davis; Public Safety Officers Brown, Olney, Bradley, Good and Moore; Bike Patrol Cadets Heid and Fender

2016-81. Steve Edison, 2855 Elmwood, introduced Peter D'Arienzo, CEO of the John Ball Zoo, and Dale Robertson, CEO of the Grand Rapids Public Museum. The three spoke about the upcoming millage request on the November ballot that would provide .44 mills for a 10-year period to support operations, exhibits and programs for both entities.

2016-82. Commissioner Zagel announced the "Taste of East" event would be held Thursday, August 18 in Gaslight Village and invited everyone to attend.

Commissioner Skaggs thanked those who voted in the August 2 primary election. He also noted it was good to see former City Commissioner Bill Graham being appointed to the Board of Review.

Assistant City Manager LaFave noted the Lake Drive construction project was on schedule to be completed by Labor Day weekend and thanked the residents and commuters for their patience.

Mayor Seibold thanked the Public Works employees, Public Safety Officers and construction crews for making sure the construction area was secured and drivers were directed to safe detours during the project.

2016-83. City Clerk Brower administered the oath of office to Public Safety Officer Andrew Good.

2016-84. Darwin Bass, Kent County Public Works Director, updated the City Commission on the tipping fee increase at the recycling facility starting January 1, 2017 that will likely result in a fee increase to residential customers.

2016-85. Zagel-Miller. To approve the consent agenda as follows:

2016-85-A. To approve the minutes of the regular meeting held August 1, 2016.

2016-85-B. Report of Finance Committee on disbursement of funds: payroll disbursements of \$233,354.78; county and school disbursements of \$5,854,010.88, and total remaining disbursements of \$717,237.71.

2016-85-C. The appointment of Bill Graham of 2830 Cascade Road to the Board of Review for a term ending June 30, 2017.

2016-85-D. A resolution adopting the Vantage Trust II Multiple Collective Investment Funds Trust Participation Agreement with the International City/County Management Association Retirement Corporation as set forth in Exhibit "A" attached hereto.

2016-85-E. A temporary mobile substation and access easement for Consumers Energy for utility substation work at the Public Works Complex property as set forth in Exhibit "B" attached hereto.

- 2016-85-F. The purchase of five sets of firefighting gear from Apollo Fire Equipment of Romeo, Michigan in the amount of \$9,130.00
- 2016-85-G. The purchase of a bypass pump for Public Works operations from Xylem Inc. of Painesville, Ohio in the amount of \$44,644.08.
- 2016-85-H. The preliminary minutes of the Parks & Recreation Commission meeting held June 13, 2016.

Yeas: Dills, Hamrick, Miller, Skaggs, Zagel and Seibold – 6
Nays: -0-

The meeting adjourned at 6:52 p.m., subject to the call of the Mayor until August 1, 2016.

Karen K. Brower, City Clerk

Attachments: A – Resolution adopting agreement with ICMA-RC.
B – Consumers Energy easement

Attachments listed above are available for inspection at the office of the City Clerk.

City of East Grand Rapids
Resolution to Adopt Participation Agreement with ICMA-RC

WHEREAS, the City currently administers a healthcare plan (the Plan) for eligible retirees; and,

WHEREAS, the assets of the Plan are held in trust with ICMA-RC with the City serving as trustee of those assets; and,

WHEREAS, the assets held in trust are for the exclusive benefit of Plan participants, spouses and eligible dependents; and,

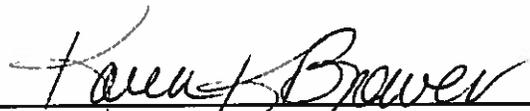
WHEREAS, the assets of the Plan shall not be diverted to any other purpose prior to the satisfaction of all liabilities of the Plan; and,

WHEREAS, the investment of the assets shall be directed by the Finance Director with input from the City Manager; and,

RESOLVED, THEREFORE, due to restructuring of the investment funds by ICMA, the City resolves to adopt the Participation Agreement with ICMA-RC for the Vantage Trust II Multiple Collective Investment Funds Trust.

FURTHER RESOLVED that the City Manager is authorized to sign on behalf of the City the Participation Agreement and such other documents as they determine are necessary to accomplish the foregoing.

Adopted by the East Grand Rapids City Commission
at its regular meeting on Monday, August 15, 2016.



Karen K. Brower, City Clerk

TEMPORARY EASEMENT FOR ELECTRIC SUBSTATION SITE

41-14-28-476-015

Ramona Substation
SAP #16388959

City of East Grand Rapids, 750 Lakeside Drive, SE, East Grand Rapids, Michigan 49506, Grantor, for good and valuable consideration [*exempt from real estate transfer tax pursuant to MCLA 207.505(f) and from State real estate transfer tax pursuant to the provisions of MCLA 207.526(f)*] paid to it by **Consumers Energy Company**, a Michigan corporation, One Energy Plaza, Jackson, Michigan 49201, Grantee, receipt of which Grantor hereby acknowledges, Conveys and Warrants to Grantee, its successors and assigns, the following easements and rights:

Mobile Substation Easement: The easement and right to install, operate, maintain, and remove a temporary mobile electric substation, with associated poles, electric lines and equipment and perimeter fencing (collectively, "the Mobile Substation"), as shown approximately on exhibit A attached, on Grantor's land in the City of East Grand Rapids, County of Kent, and State of Michigan, described as follows:

Part of the East 1/2 of the Southeast 1/4 of Section 28, T7N, R11W, described as: Lot 1 of the Plat of Edgewater, except that part lying Westerly of a line commencing at a point on the northerly line of Lot 3 of the Plat of Edgewater, which is 175 feet Easterly from the Northwest corner thereof and extending Southerly and perpendicular to Robinson Road to a point of ending on the Southerly line of said Lot 1. Part of Tax Parcel ID No. 41-14-28-476-015 (the "Substation Parcel")

Access Easement: The easement and right for access to and from the Mobile Substation on, over, and across the Substation Parcel.

Grantor shall not place any buildings or structures in the Mobile Substation Easement area which interfere with the Mobile Substation or otherwise use the access easement so as to interfere with Grantee's exercise of the above easements.

Consumers Energy shall repair pavement it damages and shall grade and re-seed lawn areas it disturbs.

Consumers Energy shall indemnify and hold Grantor harmless from and against any liability for personal injury or damage to property to the extent proximately caused by Consumers Energy's sole negligence within the Substation Parcel.

This Easement will remain in effect from July 29, 2016 to January 31, 2017 or until the date Grantee removes the Mobile Substation from Grantor's land, whichever is sooner.

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed by its duly authorized representative this _____ day of _____, 20____.

City of East Grand Rapids, a Michigan
municipal corporation

By _____

By _____

The foregoing instrument was acknowledged before me in Kent County, Michigan, on _____, 20____, by _____, _____ of the City of East Grand Rapids, a Michigan municipal corporation, on behalf of said corporation.

Notary public
_____ County, Michigan
My commission expires _____

Prepared by:
William C. Carlson 7-28-2016
Consumers Energy Company
One Energy Plaza
Jackson, MI 49201-2357

Return recorded instrument to:
Debra Dennis, EP7-473
Consumers Energy Company
One Energy Plaza
Jackson MI 49201-2357



FRED S. BUNN
DIRECTOR

CITY OF
EAST GRAND RAPIDS, MICHIGAN
PARKS & RECREATION DEPARTMENT

MEMORANDUM

To: Mayor and City Commissioners
From: Fred Bunn, Director of Parks and Recreation
Date: August 16, 2016

RE: Butterfly Garden Request

Action Requested: The City Commission approve the installation of a butterfly garden on the Schroeder Park property.

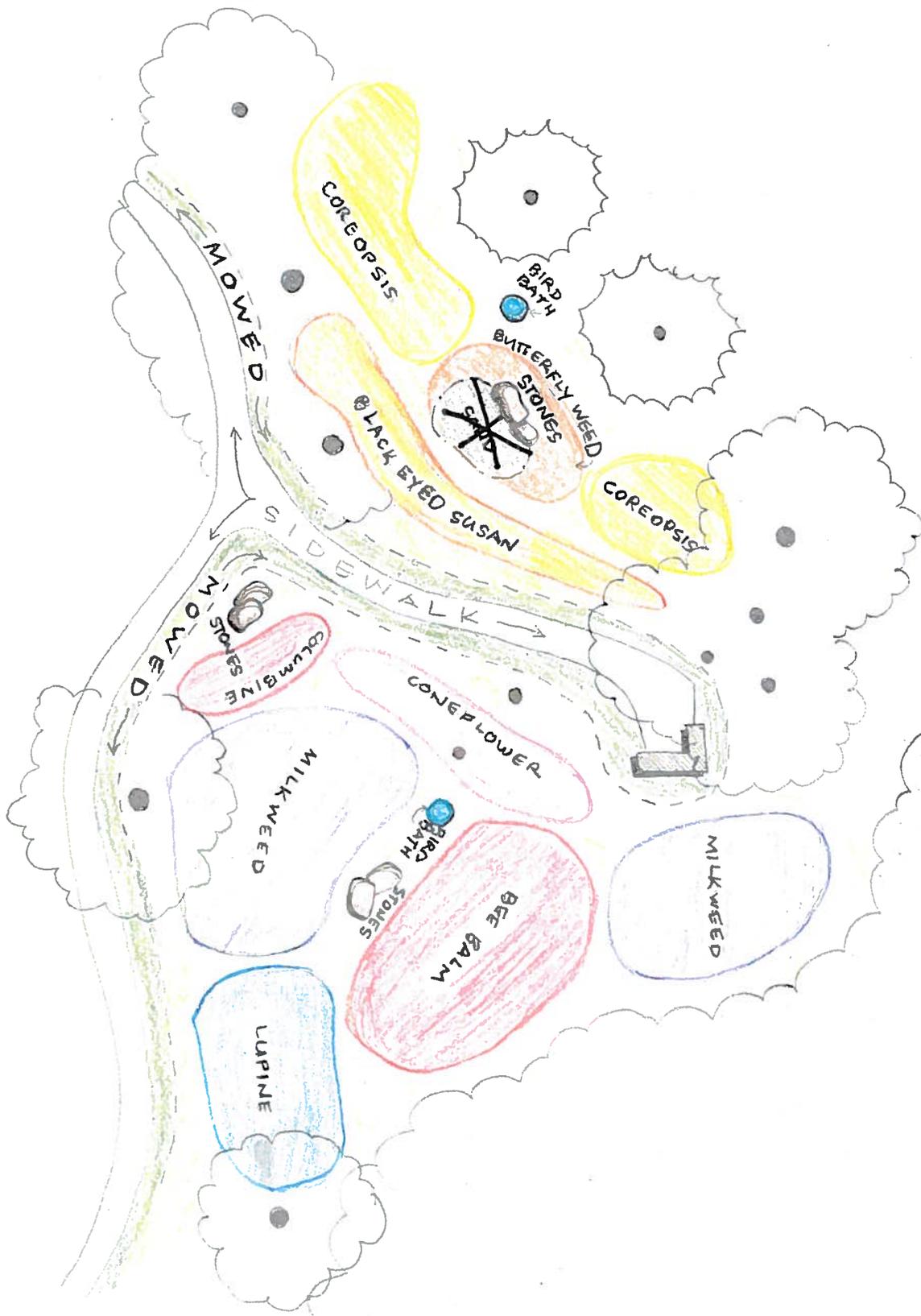
Background: Janet Baxter along with several neighbors on the north side of Reeds Lake worked with various individuals to prepare a conceptual plan for a butterfly garden to be located on the Schroeder Park property. The group of residents raised funds (\$2,025) to purchase native plants and rocks to be installed by a group of 20 or more volunteer neighbors. They also have one or two birdbaths that will be placed and maintained onsite. The volunteer group would be responsible for the planting and maintaining the garden. Once the plants are established the garden should thrive with very little care needed except from “mother nature”.

Our Grounds Maintenance staff may need to cut some of the vegetation to prepare the various planting zones. Currently the site is very thick with plant material and grasses which would make it difficult to plant the new plugs. Brian Donovan and I have reviewed the concept plan and have agreed this would be a nice enhancement to the site. The volunteer group understands there is no guarantee the plant material will survive and thrive on this site. The plant selection will be based on sun and shade locations to maximize the chance for survival. Included you will find a copy of the material and concept plan provided by Janet Baxter.

The Parks & Recreation Commission listened to a presentation by Janet Baxter and asked several questions during the commission meeting held on Monday, August 8. All seven commissioners agreed this is a valuable project and support the installation of a butterfly garden with the understanding the garden does not deter potential future development of the park site.

The information regarding the butterfly garden has been reviewed by the Parks & Recreation Commission and found to be in order.

Brian Donovan, City Manager



PROPOSED POLLINATOR GARDEN
SCHROEDER MEMORIAL PARK



NO SCALE



CITY OF EAST GRAND RAPIDS

750 LAKESIDE DRIVE SE • EAST GRAND RAPIDS, MICHIGAN 49506

KAREN MUSHONG
FINANCE DIRECTOR

MEMORANDUM

TO: Mayor and City Commissioners
FROM: Karen Mushong, Finance Director/Treasurer
DATE: August 24, 2016

RE: Preliminary Financial Reports June 30, 2016

The following report represents preliminary numbers for the year ended June 30, 2016. Although these numbers are preliminary, it is a good indication of where the City ended as compared to the 2015/2016 amended budget. As part of preparing for the year end audit, each account will be reviewed over the next few weeks for final adjustments.

GENERAL FUND

Preliminary revenues for the year ended June 30, 2016 totaled \$10,951,040, which is 100.0% of the \$10,952,500 amended budgeted amount for the fiscal year. Property tax revenue totaled \$8,046,700 or 100.0% collected of the original tax roll. Overall, revenues were collected as projected.

Revenues:	Original Budget	Proposed Budget	Actual	Percent of Budget
Taxes	8,050,000	8,050,000	8,046,700	100.0%
Licenses and permits	65,000	65,000	58,838	90.5%
Intergovernmental revenue	971,400	952,700	944,211	99.1%
Charges for services	451,000	467,700	439,603	94.0%
Recreation revenue	1,171,800	1,149,000	1,192,143	103.8%
Fines and forfeits	40,000	42,000	43,588	103.8%
Interest and rents	15,000	20,000	20,872	104.4%
Other revenue	131,700	165,700	164,659	99.4%
Library revenue	40,000	40,400	40,425	100.1%
Total	10,935,900	10,952,500	10,951,040	100.0%

GENERAL FUND (continued)

Preliminary expenditures for the year ended June 30, 2016 totaled \$10,708,157 or 97.6% of the amended budgeted amount of \$10,972,500. Although additional expenditures may be accrued during the year end closing, the City is expected to be within budget (in total) in the General Fund. The City's amended budget projected to use \$20,000 of fund balance for the year but is now it is projecting to add approximately \$202,900 into unrestricted fund balance. This is due to savings throughout each department. Unrestricted fund balance is projected to be approximately \$2,891,300 or 27.0 percent of expenditures as of June 30, 2016.

Expenditures:	Original Budget	Proposed Budget	Actual	Percent of Budget
General government	1,709,700	1,645,400	1,577,658	95.9%
Public safety	4,771,900	4,744,200	4,682,847	98.7%
City Services	1,622,600	1,682,600	1,598,384	95.0%
Recreation	1,911,700	1,900,300	1,849,268	97.3%
Transfers Out	1,000,000	1,000,000	1,000,000	100.0%
Total	11,015,900	10,972,500	10,708,157	97.6%

MAJOR STREET FUND

Preliminary revenues in the Major Street Fund were as expected for the year ended June 30, 2016. The amount of transfers in represents \$362,100 from the General Fund, \$25,810 from special assessment collections and \$150,611 of completed projects from the Municipal Street Fund.

Revenues:	Original Budget	Proposed Budget	Actual	Percent of Budget
State Funding	536,000	561,300	611,792	109.0%
Transfers In	404,500	580,400	538,521	92.8%
Other	2,000	16,200	16,824	103.8%
Total	942,500	1,157,900	1,167,137	100.8%

Although additional expenditures may be accrued during the year end closing, the City is expected to be within budget in the Major Street Fund in total.

Expenditures	Original Budget	Proposed Budget	Actual	Percent of Budget
City Engineering	64,800	48,200	30,443	63.2%
Street Construction	-	259,900	270,830	104.2%
Routine Maintenance	212,900	180,000	158,538	88.1%
Traffic Services	86,700	117,100	101,788	86.9%
Winter Maintenance	227,600	213,800	146,362	68.5%
Street Administration	90,500	78,900	50,370	63.8%
Debt Service	260,000	260,000	260,405	100.2%
Total	942,500	1,157,900	1,018,736	88.0%

LOCAL STREET FUND

Preliminary revenues in the Local Street Fund were as expected for the quarter ending June 30, 2016. The amount of transfers in represents \$109,400 of funds from the General Fund and \$999,291 of completed projects from the Municipal Street Fund.

Revenues:	Original Budget	Proposed Budget	Actual	Percent of Budget
City Taxes & Penalties	1,171,000	-	-	-
State Funding	222,300	242,000	295,630	122.2%
Transfers In	151,500	1,108,700	1,108,691	100.0%
Other	1,000	8,200	8,621	105.1%
Total	1,545,800	1,358,900	1,412,942	104.0%

Although additional expenditures may be accrued during the year end closing, the City is expected to be within budget in the Local Street Fund in total.

Expenditures	Original Budget	Proposed Budget	Actual	Percent of Budget
City Engineering	62,100	47,100	27,528	58.4%
Street Construction	896,000	999,300	999,291	100.0%
Routine Maintenance	397,500	199,500	183,525	92.0%
Traffic Services	12,600	24,800	19,923	80.3%
Winter Maintenance	213,100	189,000	134,095	70.9%
Street Administration	89,500	72,900	45,087	61.8%
Total	1,670,800	1,532,600	1,409,448	92.0%

MUNICIPAL STREET FUND

Preliminary revenues in the Municipal Street Fund were as expected for the quarter ending June 30, 2016.

Revenues:	Original Budget	Proposed Budget	Actual	Percent of Budget
City Taxes & Penalties	-	1,226,700	1,226,747	100.0%
Interest & Rents	-	100	99	100.0%
Transfers In	-	175,000	175,000	100.0%
Total	-	1,401,800	1,401,846	100.0%

Preliminary expenditures in the Municipal Street Fund were as expected for the quarter ending June 30, 2016. A transfer out of \$1,149,902 represents completed streets projects. Projects that are completed and allowable under Act 51 PA 1951, as amended, are transferred back into the Major/Local Streets for Act 51 reporting purposes.

Expenditures	Original Budget	Proposed Budget	Actual	Percent of Budget
City Engineering	-	19,400	18,364	94.7%
Street Construction	-	33,700	33,606	99.7%
Routine Maintenance	-	349,400	346,362	99.1%
Transfers Out (Street Construction)	-	1,199,300	1,149,902	95.9%
Total	-	1,601,800	1,548,235	96.7%

WATER AND SEWER FUND

Preliminary revenues for the year ended June 30, 2016 totaled \$3,499,449 which is 92.5% of the \$3,784,200 amended budgeted amount for the fiscal year.

Revenues:	Original Budget	Proposed Budget	Actual	Percent of Budget
Charges for services:				
Water Readiness	1,860,000	1,860,000	1,839,363	98.9%
Metered Water	965,000	965,000	873,762	90.5%
Sewage Disposal	725,000	725,000	646,333	89.1%
Other	8,000	22,000	25,167	114.4%
Federal Funding	-	150,000	57,569	38.4%
Fines and forfeits	60,000	60,000	54,933	91.6%
Investment Earnings	1,000	2,200	2,322	105.5%
Total	3,619,000	3,784,200	3,499,449	92.5%

Preliminary expenses for the year ended June 30, 2016 totaled \$4,029,085 or 84.5% of the amended budgeted amount of \$4,766,300. Overall, the Water and Sewer Fund expenses through June 30, 2016 were as expected. Although depreciation has been recorded, capital expenses have not been capitalized in these figures. Ending cash and investments at June 30, 2016 equals \$371,984 in this fund, which is down from \$874,055 at June 30, 2015. This is due to moving the majority of the Lake Drive water main project into 2015/2016. We still expect to have ending cash of around \$515,000 at June 30, 2017.

Expenses:	Original Budget	Proposed Budget	Actual	Percent of Budget
Supply and usage charges				
Water	900,000	1,000,000	927,770	92.8%
Sewer	700,000	600,000	595,889	99.3%
Operating expenses	2,119,700	2,695,900	2,036,004	75.5%
Depreciation	467,000	467,000	467,000	100.0%
Interest	2,500	3,400	2,422	71.2%
Total	4,189,200	4,766,300	4,029,085	84.5%

HEALTH INSURANCE FUND

Health care revenue (which includes charges to other funds) totaled \$1,559,959 while expenses totaled \$1,472,990 for health care expenses as of June 30, 2016 (preliminary). These figures are before recording an estimate of claims incurred but not yet reported. Ending cash and investments at June 30, 2016 equals \$492,168 in this fund.

MOTOR EQUIPMENT REPLACEMENT FUND (MERF)

Motor Equipment revenue (which includes charges to other funds) totaled \$719,186 while expenses totaled \$708,782 for operating expenses as of June 30, 2016 (preliminary). Ending cash and investments at June 30, 2016 equals \$878,228 in this fund.

**Cash and Investments by Fund
Quarter Ended June 30, 2016**

	Interest Rate	Special Revenue			Debt Service		Capital Projects		Enterprise	Internal Service		OPEB	TOTAL	
		General 101/701/099	Major Street 202	Local Street 203	Municipal Street 204	Wealthy Pool 305	Streetscape 372	Trail and Culvert 473	Special Assessments 810	Water and Sewer 592	MERF 692	Health Insurance 677		736
CHECKING ACCOUNTS														
Huntington Bank	0.000%	\$ 1,359,981	\$ 492,047	\$ 223,185	\$ 4,898	\$ 2,220	\$ 2,139	\$ 6,094	\$ -	\$ 342,455	\$ 315,030	\$ 187,118	\$ -	\$ 2,935,167
Debit Card Account	0.000%	4,889	-	-	-	-	-	-	-	-	-	-	-	4,889
Total Checking Accounts		\$ 1,364,870	\$ 492,047	\$ 223,185	\$ 4,898	\$ 2,220	\$ 2,139	\$ 6,094	\$ -	\$ 342,455	\$ 315,030	\$ 187,118	\$ -	\$ 2,940,057
INVESTMENTS														
Kent County Investment Pool	0.443%	\$ 1,489,416	\$ 205,982	\$ 360,136	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 29,529	\$ 563,198	\$ 305,050	\$ -	\$ 2,953,311
Certificates of Deposit:														
First National Bank of America	1.195%	253,009	-	-	-	-	-	-	-	-	-	-	-	253,009
First National Bank of Michigan	0.750%	250,000	-	-	-	-	-	-	-	-	-	-	-	250,000
Flagstar Bank	0.800%	250,000	-	-	-	-	-	-	-	-	-	-	-	250,000
Talmer Bank and Trust	0.750%	250,000	-	-	-	-	-	-	-	-	-	-	-	250,000
Total CDs:		1,003,009	-	-	-	-	-	-	-	-	-	-	-	1,003,009
Investment with Trustee	Variable	-	-	-	-	-	-	-	-	-	-	-	1,228,495	1,228,495
Total Investments		\$ 2,492,425	\$ 205,982	\$ 360,136	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 29,529	\$ 563,198	\$ 305,050	\$ 1,228,495	\$ 5,184,816
Total Checking and Investments		\$ 3,857,295	\$ 698,029	\$ 583,321	\$ 4,898	\$ 2,220	\$ 2,139	\$ 6,094	\$ -	\$ 371,984	\$ 878,228	\$ 492,168	\$ 1,228,495	\$ 8,124,872

PROCEEDINGS OF THE PLANNING COMMISSION
City of East Grand Rapids, Michigan

August 9, 2016

East Grand Rapids Community Center – Commission Chambers

Present: Chairman John Barbour, Commissioners John Arendshorst, Kevin Brant, David DeVelder, Tom Getz, Mary Mapes and Jeff Olsen

Absent: Commissioners Jeff Dills and Sara Lachman

Also Present: Assistant City Manager Doug La Fave, City Zoning Administrator Tom Faasse, City Attorney John Huff and Recording Secretary Lynda Taylor

1. CALL TO ORDER

Chairman Barbour called the meeting to order at 5:30 PM.

2. APPROVAL OF MINUTES – June 14, 2016

A motion was made by Commissioner Arendshorst and supported by Commissioner Brant to approve the minutes as written.

Yeas: Commissioners Arendshorst, Barbour, Brant, DeVelder, Getz, and Olsen – 6

Nays: -0-

Commissioner Mapes arrived at 5:32 PM

3. SITE PLAN REVIEW – 610 LOVETT (COIFFETERIA)

Chairman Barbour asked Zoning Administrator, Tom Faasse to introduce the requested site plan review. Mr. Faasse reminded the Commission that there would be no public hearing and that their options were to approve the site plan as is, approve with conditions or recommend denial if the conditions have not been met. He stated a rezoning for this site had been done in February and that the standards for the site plan review are very similar to a rezoning. At that time the applicant showed compliance with many of the standards required. The major issue of this site plan review had to do with the standard for compliance with traffic circulation which generally includes the parking situation. Mr. Faasse stated that parking spaces at a 90° angle to a driveway are required to be at least 9 feet wide and 18 feet deep. The driveway, when it is two-way traffic, is required to be at least 24 feet wide.

Marielle Shuster, owner of Coiffeteria, thanked the Planning Commission for taking the time to look at the site plan and stated that their hope was to refurbish an old home and bring it back to life. They also wanted to make it handicap accessible and safer for their team and their guests.

Christopher Alexander, architect from Progressive AE stated that they were trying to make the building more accessible, create a better environment and contribute greater to the East Grand Rapids culture and to the zone in which Coiffeteria is located.

Commissioner Mapes asked if the L-shape was the only way to do the handicap entrance. Mr. Alexander responded that because the neighborhood has such a high first floor level, they had to go nearly three feet and required the long ramp in order to meet the minimum code to get the proper incline. Commissioner Mapes also asked about the materials that would be used and was concerned about the surface being slippery. Mr. Alexander said that the ramp would be concrete and would have everything required to make it safe and not slippery.

Ross Leisman, attorney for United Bank of Michigan (2137 Wealthy Street) stated that the bank shares a parking lot with Hoffman Jewelers and Coiffeteria. He said that there is an agreement between Coiffeteria and Hoffman Jewelers regarding access and parking, but United Bank is not party to that agreement. The Coiffeteria site plan shows parking spots on the United Bank parcel. The bank is requesting that all the parties enter into a shared parking and access agreement as a condition of site plan approval or that the site plan be tabled until there is such an agreement in place. Mr. Leisman said the bank is also concerned about the fairly

tight area for access and parking and would like a condition that protects the bank's patrons during bank hours from interference with construction traffic.

Commissioner Getz asked who owns the parking lot area. Mr. Leisman stated that it was owned by Hoffman Jewelers, Coiffeteria and United Bank. The agreement requested would be an easement for shared parking and maintenance of the lot. Mr. Leisman added that the easement would be a four-party agreement between Hoffman Jewelers, Coiffeteria, United Bank and the owner of the bank parcel at 2137 Wealthy Street.

Eric Walbeck of United Bank stated that the bank was in favor of the Coiffeteria site plan and that currently there were no parking issues.

Commissioner Olsen offered comments about the aesthetics of the ADA ramp and entry. He was not in favor of the ramp facing the street or stainless steel railing. He also questioned removal of a ten inch caliper maple tree.

A motion was made by Commissioner Getz and supported by Commissioner Arendshorst to approve Coiffeteria's site plan application with the following conditions:

1. That Coiffeteria enter into a satisfactory shared access and parking agreement encompassing all owners and business tenants of 610 Lovett, 2135 Wealthy, and 2137 Wealthy prior to the City Commission review. (This agreement will be recorded with the Kent County Register of Deeds.)
2. That any approval by the City Commission be contingent upon a condition that disruptive construction activities and/or transportation of large equipment upon or across the United Bank property (and also Hoffman Jewelers) occur either before or after bank hours (Monday – Friday, 9:00 AM – 5:00 PM and Saturday 9:00 AM – Noon) so as to minimize interference with the bank's ongoing business.

Yeas: Commissioners Arendshorst, Barbour, Brant, DeVelder, Getz, Mapes and Olsen – 7

Nays: -0-

4. REPORT OF THE CITY COMMISSION

Assistant City Manager Doug LaFave reported:

- The Lake Drive project should be completed in the next two or three weeks. Significant progress will be made with paving and brick crosswalks going in and the new traffic signals will be installed.
- Replacing water main on Conlon between Albert and Oakwood.
- Water main and sewer work will be done on Rosewood between Wealthy and Lake.
- Sections of Robson and Oxford will receive Cape Seal treatment

5. NEXT SCHEDULED MEETING DATE: September 13, 2016

6. PUBLIC COMMENT

No public comment was received

7. ADJOURNMENT

The meeting was adjourned at 6:05 PM.

Respectfully submitted,

Lynda Taylor
Recording Secretary